

December 3, 2021

City of Arvada  
Attn: Jeremiah Bebo, Planner II  
Community and Economic Development  
8101 Ralston Rd.  
Arvada, CO 80002  
Email: [JBebo@Arvada.org](mailto:JBebo@Arvada.org)

**RE: 6800 Kilmer RV Storage – Site Plan and Minor Plat Submittal**

Dear Mr. Bebo,

We are submitting for a site plan and minor plat for the RV storage business proposed at 6800 Kilmer (please see the site plan graphic on the second page). The site is 14 acres and is zoned IL (Industrial, Light). While the concept plan for the Pre-Application meeting included self-storage buildings, the plans have been re-designed to exclude them. Rather the site consist of 556 RV storage spaces and a 1,890 square foot office-building.

As discussed, the developer is open to a discussion regarding dedicating all of land within the 100-year floodplain as well as the northwesterly area where the Ralston Creek Trail is located. However, in furthering those discussion, we would like to ensure that all site calculations will be based on the gross land area prior to the net area that will result from the land dedication. Additionally, we request that required setbacks be established from the existing property line versus the future property line that would be created from the land dedication. Considering the land to the north would not be developed, it is our position that the intent of the setback would be maintained. Essentially, we would like to ensure that there are no losses of RV storage spots with the land dedication.

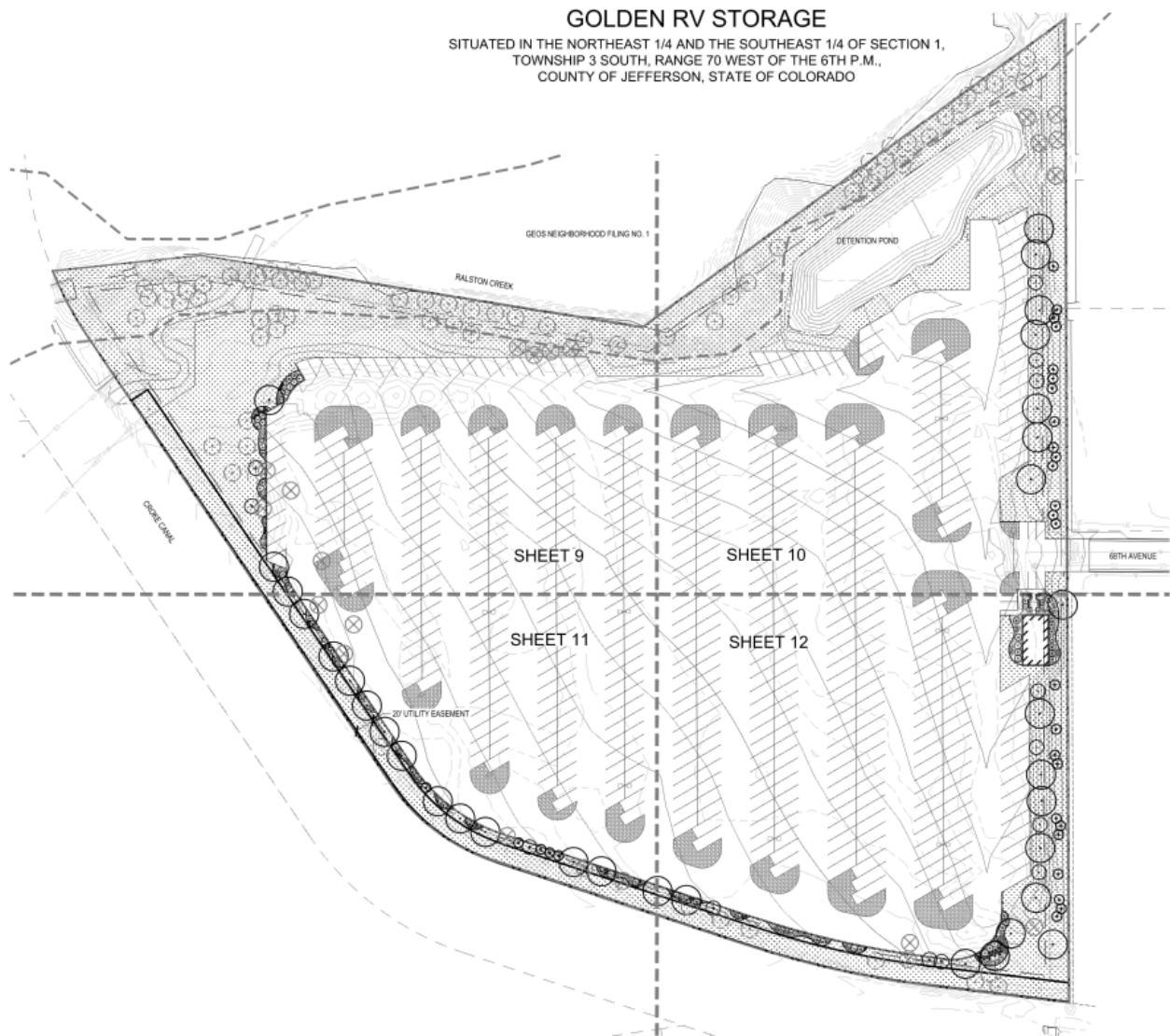
Also, as discussed due to the existing 20-foot wide Consolidated Mutual Waterline easement directly adjacent to the southerly property boundary, a fence is not permitted along the property line nor within this easement. Only small shrubs are allowed in this easement as well. Thus, the fence is designed to be just north of the easement. It is our impression that locating the landscaping on the outside of the fence (south side) would provide a better aesthetic buffer from adjacent properties versus placing the landscaping on the inside of the property.

Thank you in advance for your facilitation of the review process. We look forward to receiving all of the City referral comments. Please do not hesitate to contact me via phone or email if you would like to discuss any aspect of the application.

Sincerely,  
Norris Design



Kristin Dean, AICP  
Senior Associate – Planner



**6800 Kilmer St. RV Storage  
Response to Pre-Application Comments  
Application Number: PA2021-0111**

Dear Mr. Bebo:

Thank you for the comments on the 6800 Kilmer St RV and Self-Storage Pre-Application Review which we received on July 27, 2021. We have reviewed all the comments and have addressed them herein.

Please feel free to contact me directly should you have any other comments, questions and/or special requests for additional information. We look forward to continuing to work with you and your colleagues at the City of Arvada.

Sincerely,  
Norris Design



Kristin Dean, AICP  
Senior Associate - Planner

**FLOODPLAIN STANDARD-Andrew Stewart-undefined- [astewart@arvada.org](mailto:astewart@arvada.org)**

- It appears that your plan is to encroach in the Ralston Creek's floodway. No improvements will be allowed within the floodway that result in any increase to the flood levels during the occurrence of the base flood discharge. Please submit your floodplain analysis to be reviewed.

***Response: Plan has been updated to avoid Ralston Creek floodway encroachment.***

**PLANNER-PREAPP-Jeremiah Bebo-720-898-7438- [jbebo@arvada.org](mailto:jbebo@arvada.org)**

- IL (Industrial, Light) zoning.

***Response: Noted***

- 20' front setbacks (taken from the east) which includes parking. 5' side and rear setbacks. 50% maximum lot coverage (buildings).

***Response: Noted***

- 35% maximum outdoor storage allowed.

***Response: The area designated for RV storage is 609,840 square feet or 31% of the gross site area.***

- LDC 3-1-3-8-D-1c: Use shall be located behind the principal building; configuration does meet the requirement. this configuration meets that requirement. Type C bufferyard is required along the south, west, and north.

***Response: Self-storage buildings are no longer proposed. Only a small office will be located at the entry to the site. A Type C Bufferyard is included around the south, west, and north perimeters. Due to the existing Consolidated Mutual Water Line easement being directly adjacent to the south property line, a fence cannot be located within this easement. Instead, the fence is proposed to the north of the easement. The landscaping is proposed to be on the outside (south side) rather than inside the fence in order to provide a more aesthetic buffer from neighboring properties.***

- Self-Storage must meet LDC 3-1-3-7-H (limited use standards) and LDC 5-1-2-8 for architecture.

***Response: There are no self-storage buildings proposed. The only building is a small office.***

- Storage building cannot be located in the buffer, but the outermost walls may be used and incorporated into the design of the wall required for the buffer.

***Response: There are no self-storage buildings proposed with this plan.***

- Gravel surface parking lot can be explored although Fire is most likely going to need their access road paved.

***Response: Gravel surface parking lot approved by Arvada Fire, per meeting on 10/25. No additional pavement for fire lanes is required, as the site plan has been revised to eliminate 2 of the 3 buildings, and only the office building remains.***

- It has been raised that the Consolidated Mutual Water Line may not be active any longer which would be helpful for tree planting and other issues. Please reach out to them to verify this and understand their easement vacation process if applicable.

***Response: Consolidated Mutual Water Line is active, Plans have been updated to avoid work in easement.***

- A minor subdivision plat will be required as the land is not platted.

***Response: A minor subdivision plat is being prepared to plat the parcel.***

- A Site Plan and Minor Subdivision will be reviewed administratively. Please note that the City will not be able to



provide approvals until the State has approved the various permits/entitlements needed per Engineering.

**Response: Noted**

**ENG-DEVEL-PREAPP-Kyle Gillitzer-(720)-898-7435- [kgillitzer@arvada.org](mailto:kgillitzer@arvada.org)**

- 1.Water: There is a 10" AC Line on W 68th Ave at entrance to the site. No excavating/grading may occur at the site without documentation/permits from the Colorado Department of Public Health and Environment for waste site reclamation and remediation. This includes all utility line work, pond excavating/grading, etc.

**Response: Noted**

- 2.Sanitary: There is an 8" PVC line on the north west corner of the site. The city will take no responsibility of any utility line placed within this site due to its former waste site nature. All utility lines will be private and privately maintained.

**Response: Noted. Sanitary sewer connection for the site will be made via rights-of-way 68<sup>th</sup> and Joyce to existing sanitary sewer infrastructure north/east of the Site.**

- 3.Storm:Water Quality and detention will be required if ground disturbance is 1 acre or larger.

**Response: WQ/Detention pond is proposed at the north end of the site. All grading has been designed to promote overland flow to the pond to avoid utility trenching in existing landfill material.**

- For projects 1 acre or larger, an O&M Manual is required for all water quality/detention facilities.

**Response: Noted – an O&M Manual will be included with the final drainage report.**

- Owner/developer shall obtain a State General Permit for Stormwater Discharges Associated with Construction Activities from the Colorado Department of Public Health and Environment (CDPHE), Water Quality Control Division, prior to clearing, grading, or excavating on the site.

**Response: Noted**

- All onsite drainage facilities should be identified as privately owned and maintained and should be located within a drainage easement.

**Response: Noted – WQ/Detention Pond is the only on-site drainage facility, and will be located within an easement once the final shape/size/location of the pond is determined.**

- Foundation drains / private underdrains will need to be completely separate from public utilities.

**Response: Noted - no foundation drains or private underdrains are proposed.**

- Your proposed detention pond is within a FEMA floodplain, it must be moved.The north side of the property also lies within federally designated wetlands. Any work in a wetland will require a 404 permit from the US Army Corps of Engineers.

**Response: Detention Pond has been moved to avoid floodplain.**

- Public Improvements:

All City right of way adjacent to development property is required to be brought up to current City of Arvada standards.

**Response: Noted – No public rights-of-way are adjacent to the development property.**

- Bring entire site in to ADA compliance - an ADA accessible route to and from the building and the right-of-way will need to be provided

**Response: Noted – ADA route to and from the building has been provided.**

- Ralston Creek's channel within your property is degrading and eroding allowing landfill refuse to litter into the stream. The stream channel will need to be stabilized. This work must be coordinated with Mile High Flood District and under CDPHE guidance as a former waste refuse site.

**Response: Coordination with Mile High Flood District initiated on 11/18 and will continue through the design phase of the project.**
- Traffic:**  
Complete the Base Assumptions Form and submit to your review engineer. At a minimum, a trip generation letter will be required. A full Traffic Impact Analysis (TIA) shall be required with applications for development review and approval when the trip generation during any peak hour is expected to exceed more than 100 trips during any one-hour peak or to exceed 250 trips per day.

**Response: Base assumptions form was completed and submitted, a trip generation letter has been prepared and is included with this submittal.**
- 6.Grading:**  
A Site Disturbance Permit will be required if the ground disturbance is greater than 10,000 sf. <https://arvada.org/business/permits-and-applications/site-disturbance-permit>

**Response: Noted**
- Retaining walls more than 4' tall (measured from top of wall to bottom of footer) require a special permit through the building department.

**Response: Noted - No retaining walls are proposed at this time.**
- Maximum slope in a landscape area is 4:1.

**Response: Noted**
- All off site grading/construction of any kind will require signed permission from all applicable property owners.

**Response: Noted**
- LOC/Cash escrow:**  
Developers are required to provide an escrow in the amount of 100% of the estimated cost of public improvements via cash or letter of credit. When the developer successfully completes the public improvements and warranty is initiated, the City will retain 20% of the certified construction costs and release the remaining 80% of the escrow back to the developer. The City will retain 20% of the certified construction cost of public improvements to ensure that the public improvement meets the City standards through the 2- year warranty period.

**Response: Noted, thank you.**
- Applicants shall verify with Arvada Fire Protection District if fire access and circulation is sufficient and if the fire hydrant requirements have been met.

**Response: Noted – A meeting with Arvada fire was held and it was determined that the site plan circulation was sufficient for firefighting needs at the office building.**
- Standard checklists for CDs, Drainage Report, Utility Report, and Traffic Report must be followed. Checklists can be found on the Arvada website. <https://arvada.org/business/permits-and-applications/documents-and-downloads>

**Response: Noted**

**SITE DEV. STANDARD-Sandra McDonald-720-898-7811- [smcdonald@arvada.org](mailto:smcdonald@arvada.org)**

- No excavation - only 3 feet of fill

***Response: Grading has been designed to eliminate the need for excavation to the greatest extent possible, to avoid disturbing existing landfill materials.***

- Compaction may vary throughout site, monitor for potential settlement  
***Response: Noted***
- Runoff control of impervious areas  
***Response: Noted – A WQ/Detention Pond has been provided at the north end of the site to treat and detain runoff from the Site.***
- Infiltration is not recommended  
***Response: Noted***
- Protect methane wellheads  
***Response: Noted***
- Limit landscaping where roots could affect landfill cover  
***Response: Noted***
- Any discharges of groundwater will need to be sampled during construction and afterward.  
***Response: Noted***

**AFPD-PREAPP-Scott Plumer- [scott.plumer@arvadafire.com](mailto:scott.plumer@arvadafire.com)**

- This application will be reviewed for compliance with the 2018 International Fire Code (IFC) as adopted by the City of Arvada under Article II of Chapter 42 in the Arvada City Code. The comments provided in this review are preliminary in nature and do not consist of an all-inclusive list of needs or requirements for this proposal. Building construction plans will be reviewed for compliance with the adopted IFC at the time of submission. Many times, sufficient drawings or information are not provided, therefore the comments below are general in nature.  
***Response: Noted***
- These comments pertain to the subdivision/rezoning/annexation only. Should any buildings or structures be built on any of the lots in the future, additional fire code requirements may apply. These may include, but are not limited to, fire apparatus access roads, fire hydrants, and/or fire sprinkler systems. AFPD shall receive a site plan to review for code compliance with the adopted fire code at the time of future submittals.  
***Response: Noted***
- Fire Lane and Fire Apparatus Access roads shall be provided with an approved all-weather surface (paved) that can support an imposed load of 85,000 pounds. And provide access to within 150 feet of all portions of the exterior of the structure(s).  
***Response: Noted***
- Due to building size and access distances, fire sprinklers will be required for all buildings on the site, except the northwest corner and the storage office.  
***Response: All buildings except storage office have been removed from the site plan.***
- The Fire Lane and Fire Apparatus Access roads shall provide a minimum inside turning radius and an outside turning radius sufficient to allow navigation of AFPD apparatus and allow effective emergency operations. A turning analysis of the site shall be provided and indicate that access throughout the site will accommodate AFPD Tower 56. The developer or representative shall reference the AFPD website for specifications.

**Response: Noted**

- Dead-end fire apparatus access roads exceeding 150 feet shall be provided with an approved fire apparatus turnaround.

**Response: Noted – No fire apparatus roads are proposed at this time.**

- The minimum width of the fire apparatus access roads shall be a clear and unobstructed 24 feet for building heights less than 30 feet. For building heights that exceed 30 feet in height, a 26-foot fire apparatus access road will be required.

**Response: Noted – No fire apparatus roads are proposed at this time.**

- For buildings that exceed 30 feet in height, the fire apparatus access roads shall be positioned a minimum distance of 15 feet from the building and a maximum distance of 30 feet from the building. The road shall be positioned parallel to one entire side of the building.

**Response: Noted – No buildings exceeding 30' in height are proposed at this time.**

- The approved Fire Lane and Fire Apparatus Access road(s) shall be provided during construction unless otherwise approved by the AFPD. The fire apparatus access roads shall consist of the first lift of asphalt or concrete and shall be provided prior to combustible materials being brought to the site and commencing vertical construction. Alternative temporary fire apparatus access road materials and/or designs shall be approved and permitted by the AFPD.

**Response: Noted – No fire apparatus roads are proposed at this time.**

- Fire lane signage plan shall be provided.

**Response: Noted – No fire apparatus roads are proposed at this time.**

- A 3-foot clear space shall be maintained around all fire hydrants. The space shall be measured from the top center of the hydrant and there shall be no obstruction directly in front of a hydrant. All the trees within this development shall provide an unobstructed vertical clearance of 13 feet 6 inches for the fire apparatus access road.

**Response: Noted – No fire hydrants are proposed at this time.**

- Fire hydrants shall be provided so that all portions of buildings are within 400-feet of a fire hydrant. The proximity shall be measured along the Fire Lane and Emergency Access road(s) to the building and via an approved route around the exterior of the building(s) at grade level. The proximity may be increased to 600- feet with installation of an approved fire sprinkler system.

**Response: Noted – No fire hydrants are proposed at this time.**

- A fire hydrant shall be provided within 150 feet of the fire department connection for buildings equipped with an automatic fire sprinkler system.

**Response: Noted – An existing fire hydrant is located at the intersection of 68<sup>th</sup> and Joyce, but no sprinkler system is proposed for the office building.**

- The minimum fire-flow as determined by Arvada Fire shall be provided by the fixed-water distribution system. Fire-flow is calculated using the total floor area of all floors within the exterior walls of the largest building and the construction type. Reduction in required fire-flow is allowed with installation of an approved fire sprinkler system and as approved by Arvada Fire.

**Response: Noted**

**PLN LANDSCAPE-PREAPP-Shane Greenburg-- [sgreenburg@arvada.org](mailto:sgreenburg@arvada.org)**

- Final plans must be stamped by a Colorado registered landscape architect.  
**Response: Noted, final plans will be stamped.**
- Along the northern, western, and southern property lines, use Type C bufferyard found in LDC 4-6-5-3 Bufferyard Options. To make up for the lack of trees within the parking area, add one extra tree and 5 extra shrubs per linear feet in addition to the bufferyard requirements. Along the northern and western boundaries, the fence or wall should be as close to the parking area as possible with the vegetation on the outside facing the trail to help maintain a more natural trail experience. No fences or walls within floodplain. See attached plan for examples.  
**Response: Fencing and Type-C bufferyard added to plan, including additional shrubs and trees per requirement. Please note that along the southerly property line, the Bufferyard exceeds 20-feet due to the water line easement.**
- 15% Minimum landscape area - area includes all vegetated areas (including parking lot islands/bufferyards/detention basins) plus non-vehicular hardscaped areas intended for pedestrian or recreational uses.  
**Response: 28% landscape minimum area has been provided.**
- If any trees are to be removed, follow requirements in 4-6-2 Tree Preservation and Replacement, including providing a tree survey by a licensed arborist or landscape architect. Trees that are saved offset trees that are removed. Tree caliper inches that cannot be mitigated on the site or the neighboring properties require a fee- in-lieu of \$300 per caliper inch. To find a certified arborist, visit <https://isarmc.org/>  
**Response: Tree survey included. Trees to be saved and trees to be removed noted on landscape plans.**
- Follow requirements in LDC 4-3-2-2 Common Open Spaces. Provide an outdoor amenity for employees such as a picnic/seating area.  
**Response: Outdoor seating area has been incorporated into site.**
- All remaining landscape areas to follow requirements in LDC 4-6-6-5 General Landscape Areas. Follow requirements in LDC 4-6-4-3 Size and Quality of Landscape Plants.  
**Response: Remaining landscape areas meet requirements.**
- Follow requirements in LDC 4-6-7-1 Water-Wise Requirements. Pay special attention to D.Soil Amendments and F.Irrigation as landscape notes are required on the plans.  
**Response: Landscape notes included on plans.**
- All buildings must be ADA accessible from public rights-of-way and parking areas.  
**Response: Noted, refer to civil plans for accessible route.**
- On all vehicular entrances, follow requirements found in 4-4-3-3 Intersection Visibility. No plants over 2 feet tall at maturity should be within the site triangle. Trees may be allowed if trimmed up nine feet and the city staff believe the placement will not impede visibility.  
**Response: There are no site triangles within the limits of this site.**
- Please reference the City recommended/prohibited plant list  
<https://arvada.org/source/LDC/Arvada%20Plant%20List%20-%209.1.2020.pdf>  
**Response: No plants on the prohibited plant list are included.**
- No trees to be planted within utility easements or within 10 feet of a public utility line.  
**Response: All trees have been placed more than 10 feet away from public utility lines.**

GOLDEN RV STORAGE  
SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

LEGAL DESCRIPTION

AN IRREGULAR TRACT OF LAND LOCATED IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE SIXTH PRINCIPAL MERIDIAN, LYING NORTH AND EAST OF THE CROKE CANAL AND SOUTH OF COTTONWOOD WEST INDUSTRIAL PARK FILING NO. 1. SITUATED IN THE CITY OF ARVADA, JEFFERSON COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID NORTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE S0014°49'E ALONG THE EAST LINE OF SAID NORTHWEST 1/4 OF THE SOUTHEAST 1/4 A DISTANCE OF 463.73 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF THE CROKE CANAL; THENCE ALONG THE NORTHERLY AND EASTERLY RIGHT-OF-WAY LINE OF THE CROKE CANAL THE FOLLOWING SIX (6) COURSES:

N8302°55"W A DISTANCE OF 150.11 FEET;  
ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 1123°39". A RADIUS OF 963.78 FEET AND A CHORD WHICH BEARS N7721°05 W, AN ARC DISTANCE OF 191.66 FEET;  
N71-39°16"W A DISTANCE OF 276.15 FEET;  
ALONG A CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 373°118". A RADIUS OF 208.06 FEET AND A CHORD WHICH BEARS N52°53'37"W. AN ARC DISTANCE OF 136.25 FEET;  
N3407°58"W A DISTANCE OF 557.70 FEET;  
ALONG A CURVE TO THE RIGHT. HAVING A CENTRAL ANGLE OF 11:3335, A RADIUS OF 388.56 FEET AND A CHORD WHICH BEARS N28°20'45 W. AN ARC DISTANCE OF 78.40 FEET TO THE SOUTHWEST CORNER OF SAID COTTONWOOD WEST INDUSTRIAL PARK FILING NO. 1:

THENCE ALONG THE SOUTHERLY BOUNDARY LINE OF SAID COTTONWOOD WEST INDUSTRIAL PARK FILING NO. 1 THE FOLLOWING THREE (3) COURSES:

N8404°28'E A DISTANCE OF 154.44 FEET;  
S80°49 37"E A DISTANCE OF 464.19 FEET;  
N5357°00"E A DISTANCE OF 542.86 FEET TO A POINT ON THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE NORTHEAST 1/4;

THENCE S0011°39'E ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 A DISTANCE OF 55.92 FEET TO THE POINT OF BEGINNING, COUNTY OF JEFFERSON, STATE OF COLORADO

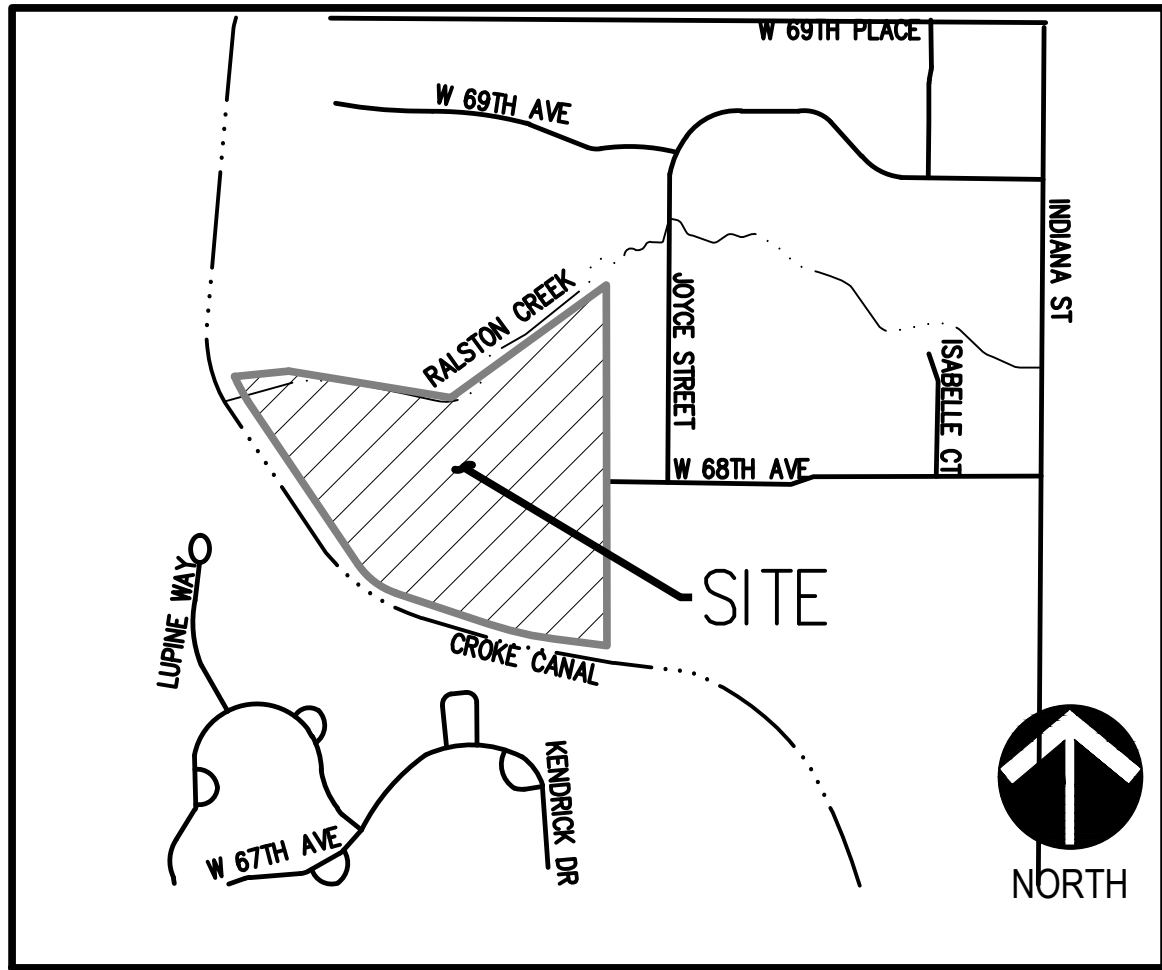
PROJECT SUMMARY:

THIS PROJECT INCLUDES RV STORAGE AND A SMALL OFFICE BUILDING ON VACANT LAND.

GENERAL NOTES:

- ANY PROPOSED FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES SHOWN ON THIS PLAN AREA ILLUSTRATIVE ONLY AND SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- FIRE APPARATUS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER SURFACE (CONCRETE OR ASPHALT) AND SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 POUNDS.
- THE APPROVED FIRE APPARATUS ROADS SHALL BE PROVIDED DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE AFPD. THE FIRE APPARATUS ACCESS ROADS SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE AND SHALL BE PROVIDED PRIOR TO COMMENCING VERTICAL CONSTRUCTION. ALTERNATIVE TEMPORARY FIRE APPARATUS ACCESS ROAD MATERIALS AND / OR DESIGNS SHALL BE APPROVED AND PERMITTED BY THE AFPD. THE PRIVATE ROADS THROUGH THE SITE SHALL BE DEDICATED ON THE FINAL PLAT AS "FIRE APPARATUS ACCESS ROADS" OR OTHER SIMILAR LANGUAGE AS REQUIRED BY THE CITY OF ARVADA.
- A 3'-0" CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND NOT OBSTRUCTED.
- FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE FLOW PRIOR TO COMMENCING VERTICAL CONSTRUCTION.
- DURING CONSTRUCTION AND UPON COMPLETION, THERE SHALL BE BUILDING SIGNAGE PROVIDED, A MINIMUM OF 0'-4" HIGH WITH A 0.5' STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING SUCH BUILDING.

VICINITY MAP



SHEET INDEX

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15	PHOTOMETRIC SHEET
16	PHOTOMETRIC SHEET

CITY REVIEW TEAM

PLANNING:

DEVELOPMENT ENGINEERING/ TRAFFIC:

ARVADA FDP:

LANDSCAPE REVIEW:

LAND DIVISION:

STORM WATER:

SITE DATA

LOT STANDARDS	REQUIRED	PROPOSED
NUMBER OF RV STORAGE SPACES	N/A	556 SPACES
MIN. LOT AREA	N/A	14 AC/ 609,840 SF
MIN. LOT WIDTH	N/A	N/A
MIN. LOT COVERAGE	50%, 304,920 SF	0.32%, 1,890 SF
MAX. OUTDOOR STORAGE OF LOT AREA	35%, 213,444 SF	32%, 192,097.25 SF
SETBACK STANDARDS		
MIN. FRONT	20 FT.	20 FT.
MIN. STREET SIDE	20 FT.	20 FT.
MIN. INTERIOR SIDE	5 FT.	20 FT.
MIN. FRONT PARKING	20 FT.	20 FT.
MIN. REAR SETBACK	5 FT.	772 FT.
BUILDING STANDARDS		
MAX. HEIGHT, BUILDING	40 FT.	17'-1" FT.
MIN. LANDSCAPE SURFACE AREA	15%	28%

PROJECT CONTACTS

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FLORIDA 33346

LANDSCAPE ARCHITECT:  
NORRIS DESIGN  
1101 BANNOCK STREET  
DENVER, COLORADO 80204  
PHONE: 303-892-1166  
CONTACT: BRAD HAIGH

DEVELOPER/APPLICANT:  
SPIRIT LAKE 5 LLC  
12460 1ST STREET,  
EASTLAKE, COLORADO 80614  
PHONE: 303-457-5717  
CONTACT: BRADLEY PENWELL

PLANNER:  
NORRIS DESIGN  
1101 BANNOCK STREET  
DENVER, COLORADO 80204  
PHONE: 303-892-1166  
CONTACT: BONNIE NIZIOLEK

ARCHITECT:  
HAUSER  
3780 EAST 15TH STREET, SUITE 201  
LOVELAND, COLORADO 80202  
PHONE: 970-669-8220  
CONTACT: CURTIS KOLDEWAY

CIVIL ENGINEER:  
HKS  
1120 LINCOLN ST, SUITE 1000  
DENVER, COLORADO 80203  
PHONE: 303623-6300  
CONTACT: KEVIN KENNEDY

SURVEYOR:  
HKS  
1120 LINCOLN ST, SUITE 1000  
DENVER, COLORADO 80203  
PHONE: 303-623-6300  
CONTACT: KEVIN KENNEDY

GOLDEN RV STORAGE  
SITE PLAN  
CITY OF ARVADA, CO

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION

DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
COVER SHEET



GOLDEN RV STORAGE  
SITE PLAN  
CITY OF ARVADA, CO

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION

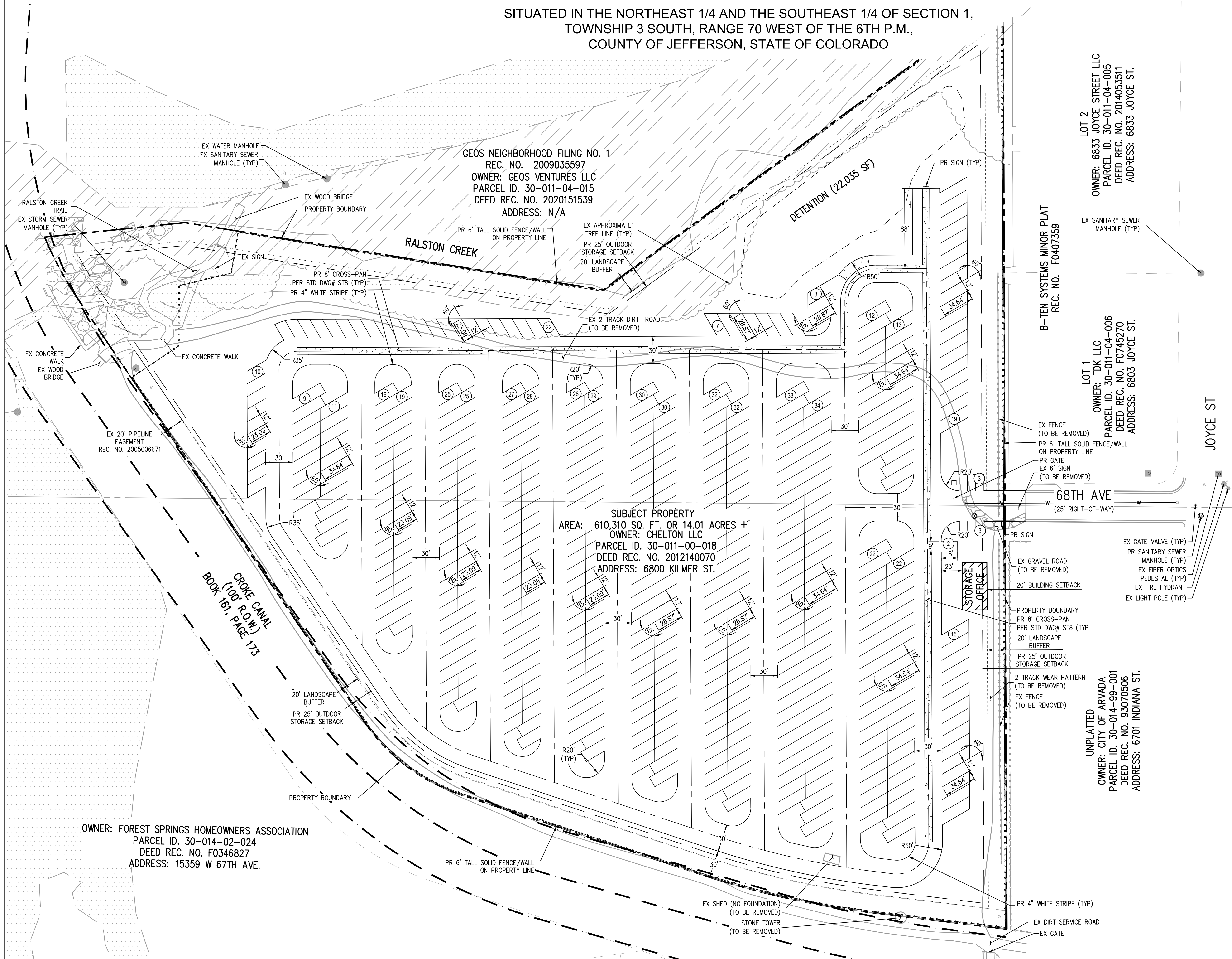
DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
SITE PLAN

2  
SHEET 2 OF 16

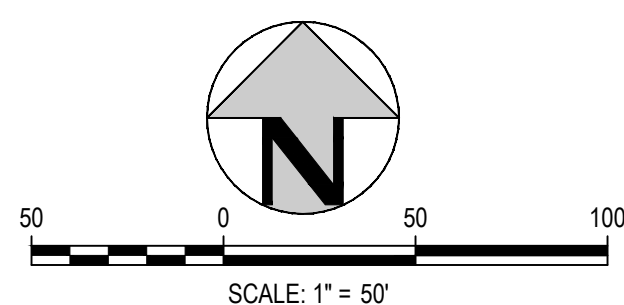
GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO



LEGEND:

- PROPERTY BOUNDARY
- EX LOT LINE
- EX EDGE OF ROAD
- EX FENCE
- EX WOOD FENCE
- EX STORM SEWER MANHOLE
- EX SANITARY SEWER MANHOLE
- EX WATER MANHOLE
- EX GATE VALVE
- EX FIRE HYDRANT
- EX FIBER OPTICS PEDESTAL
- EX LIGHT POLE
- EX SIGN
- FLOOD ZONE AE - 0.2% ANNUAL CHANCE
- FLOOD ZONE AE - SPECIAL FLOOD HAZARD AREA
- PR EDGE OF ROAD
- PR 8" CONCRETE PAN
- PR SANITARY SEWER MANHOLE
- PR LANDSCAPE BUFFER
- PR SETBACK
- PR FENCE
- PR GATE
- PR SIGN
- PR BUILDING
- PR PARKING STRIPE
- PR PARKING COUNT
- PR 4" WHITE STRIPE
- PR ROAD CENTERLINE
- PR DETENTION POND





GOLDEN RV STORAGE

SITE PLAN  
CITY OF ARVADA, CO

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION

DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
OVERALL  
UTILITY PLAN

3  
SHEET 3 OF 86

GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

GEOS NEIGHBORHOOD FILING NO. 1  
REC. NO. 2009035597  
OWNER: GEOS VENTURES LLC  
PARCEL ID. 30-011-04-015  
DEED REC. NO. 2020151539  
ADDRESS: N/A

SUBJECT PROPERTY  
AREA: 610,310 SQ. FT. OR 14.01 ACRES ±  
OWNER: CHELTON LLC  
PARCEL ID. 30-011-00-018  
DEED REC. NO. 2012140070  
ADDRESS: 6800 KILMER ST.

LOT 2  
OWNER: 6833 JOYCE STREET LLC  
PARCEL ID. 30-011-04-005  
DEED REC. NO. 2014053511  
ADDRESS: 6833 JOYCE ST.

B-TEN SYSTEMS MINOR PLAT  
REC. NO. F0407359

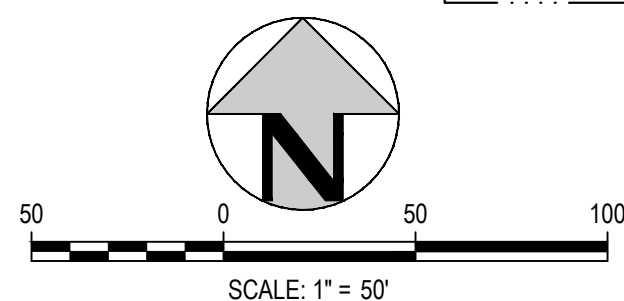
LOT 1  
OWNER: TDK LLC  
PARCEL ID. 30-011-04-006  
DEED REC. NO. F0745270  
ADDRESS: 6803 JOYCE ST.

UNPLATTED  
OWNER: CITY OF ARVADA  
PARCEL ID. 30-014-99-001  
DEED REC. NO. 93070506  
ADDRESS: 6701 INDIANA ST.

OWNER: FOREST SPRINGS HOMEOWNERS ASSOCIATION  
PARCEL ID. 30-014-02-024  
DEED REC. NO. F0346827  
ADDRESS: 15359 W 67TH AVE.

LEGEND:

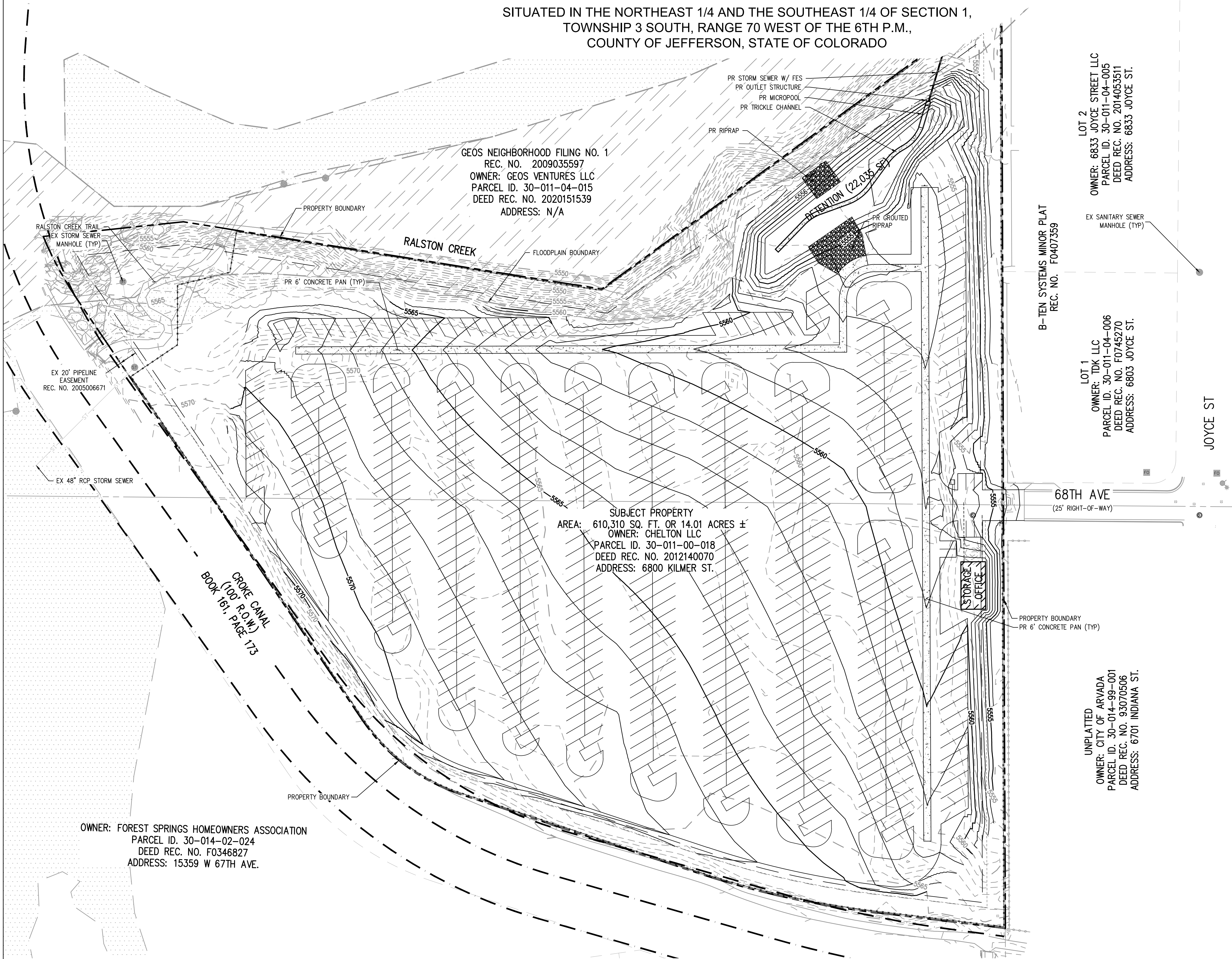
- PROPERTY BOUNDARY
- EX LOT LINE
- EX EDGE OF ROAD
- EX FENCE
- EX WOOD FENCE
- EX UNDERGROUND GAS LINE
- EX UNDERGROUND TELEPHONE LINE
- EX UNDERGROUND ELECTRIC LINE
- EX SANITARY SEWER MAIN
- EX WATER MAIN
- EX STORM SEWER
- EX STORM SEWER MANHOLE
- EX SANITARY SEWER MANHOLE
- EX WATER MANHOLE
- EX GATE VALVE
- EX FIRE HYDRANT
- EX FIBER OPTICS PEDESTAL
- EX LIGHT POLE
- EX SIGN
- FLOOD ZONE AE - 0.2% ANNUAL CHANCE
- FLOOD ZONE AE - SPECIAL FLOOD HAZARD AREA
- PR EDGE OF ROAD
- PR 6" CONCRETE PAN
- PR STORM W/ FES
- PR WATER MAIN
- PR WATER SERVICE LINE
- PR SANITARY SEWER MAIN
- PR SANITARY SEWER SERVICE LINE
- PR SANITARY SEWER MANHOLE
- PR LANDSCAPE BUFFER
- PR SETBACK
- PR FENCE
- PR GATE
- PR SIGN
- PR BUILDING
- PR PARKING STRIPE
- PR 4" WHITE STRIPE
- PR DETENTION POND





# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

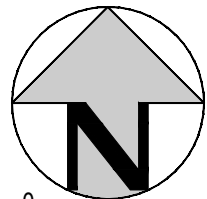


## GENERAL GRADING NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT HANDRAILS, STAIRS, CURB RAMPS, AND RAMPS ARE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL STATE AND/OR FEDERAL REGULATIONS AND STANDARDS, INCLUDING BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (ADA), THE FAIR HOUSING ACT (FHA) AND THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
- CROSS SLOPES ALONG THE ACCESSIBLE ROUTE OR AT LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- LONGITUDINAL SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT EXCEED 5%. LONGITUDINAL SLOPES ON RAMPS SHALL NOT EXCEED 8.33% RAMP, EXCEPT CURB RAMPS, SHALL HAVE HANDRAILS ON BOTH SIDES.
- GUTTER SLOPES AT THE CURB RAMPS SHALL NOT EXCEED 5%.
- GUTTER PANS SURROUNDING HANDICAP SPACES SHALL MATCH THE SLOPE OF THE ADJACENT PAVEMENT WITH A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- ALL GRADES ARE FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ROCK MULCH, IF PLACED UPSTREAM OF CONCRETE FLATWORK OR GRASSED AREA, SHALL BE PLACED ON TOP OF FINISHED GRADE SHOWN ON THESE PLANS. ROCK MULCH AREAS SHALL BE DESIGNED AND CONSTRUCTED TO ADEQUATELY DRAIN AND NOT RETAIN WATER. ALL LANDSCAPE EDGE MATERIALS SHALL NOT PREVENT DRAINAGE TO PASS THROUGH.
- ALL GRADES ADJACENT TO THE BUILDINGS SHALL BE AT MINIMUM 8-INCHES BELOW FINISHED FLOOR ELEVATION, UNLESS OTHERWISE NOTED.
- NON-PAVED GRADES ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 1% FOR 10'-FT. ALL PAVED GRADES ATTACHED TO BUILDINGS SHALL SLOPE AWAY FROM ALL BUILDINGS AT A MINIMUM OF 1%, UNLESS OTHERWISE NOTED.
- ALL GRADES FOR WALLS ARE FINISHED GRADE ELEVATIONS AT BOTTOM OF FRONT FACE (BW) AND TOP-BACK OF WALL (TW). THE WALL ELEVATIONS DO NOT INDICATE FOUNDATION DEPTHS OR ELEVATIONS. RETAINING WALL DETAILS SHALL BE PROVIDED BY OTHERS.
- REFER TO STRUCTURAL PLANS FOR BUILDING FOUNDATION STEP LOCATIONS WHEN APPLICABLE.
- PORTIONS OF STAIRS THAT DO NOT MEET THE MINIMUM 4-INCH RISER HEIGHT (DUE TO AN ADJACENT SLOPING PUBLIC WAY) SHALL HAVE A DISTINCTIVE MARKING STRIPE, 1-INCH TO 2-INCHES IN WIDTH, WITH A SLIP-RESISTANT SURFACE, IN ACCORDANCE WITH CURRENT INTERNATIONAL BUILDING CODE REGULATIONS.
- SEE LANDSCAPE ARCHITECT PLANS FOR HEIGHT AND TOP OF COURTYARD AMENITIES (PLANTER CURBS, SEAT WALLS, BENCHES, FIRE WALL, MEDIA WALL, BARS, AND GRILLS).
- TOP STEP ELEVATIONS FOR STOOPS AND PATIOS ARE SHOWN FOR REFERENCE ONLY. TOP OF STEPS AND PATIO ELEVATIONS SHALL BE COORDINATED WITH ARCHITECTURAL PLANS/DETAILS AND AS-BUILT STOOP/PATIO ELEVATIONS.
- ELECTRICAL TRANSFORMER PADS AND AC-UNIT PADS ARE TO BE SET A MINIMUM OF 2-INCHES ABOVE THE ADJACENT FINISHED GRADE AROUND THE PERIMETER OF THE PAD. CONTRACTOR SHALL PROVIDE A CONCRETE TURNDOWN AS NECESSARY. CONTRACTOR IS TO VERIFY POSITIVE DRAINAGE AWAY FROM, AND AROUND, ALL ELECTRICAL PADS AND AC-UNIT PADS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL ENGINEERING REPORT.
- CONTRACTOR SHALL ENSURE ACCESSIBLE EXTERIOR DOORS AND GATES ARE CONSTRUCTED WITH ADEQUATE LANDING WIDTH AND DEPTH TO COMPLY WITH APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) MANEUVERING CLEARANCES AT DOOR REQUIREMENTS (BASED ON THE DIRECTION OF APPROACH OF THE SIDEWALK).

## LEGEND:

PROPERTY BOUNDARY	---
EX LOT LINE	---
EX CONTOURS	---
EX EDGE OF ROAD	---
EX FENCE	---
EX WOOD FENCE	---
EX STORM SEWER	---
EX STORM SEWER MANHOLE	---
EX SANITARY SEWER MANHOLE	---
EX WATER MANHOLE	---
EX GATE VALVE	---
EX FIRE HYDRANT	---
EX FIBER OPTICS PEDESTAL	---
EX LIGHT POLE	---
EX SIGN	---
FLOOD ZONE AE - 0.2% ANNUAL CHANCE	---
FLOOD ZONE ZE - SPECIAL FLOOD HAZARD AREA	---
PR CONTOURS	---
PR EDGE OF ROAD	---
PR 6' CONCRETE PAN	---
PR STORM SEWER W/ FES	---
PR SANITARY SEWER MANHOLE	---
PR LANDSCAPE BUFFER	---
PR SETBACK	---
PR FENCE	---
PR GATE	---
PR SIGN	---
PR BUILDING	---
PR PARKING STRIPE	---
PR 4" WHITE STRIPE	---
PR DETENTION POND	---



SCALE: 1" = 50'

## GOLDEN RV STORAGE

SITE PLAN  
CITY OF ARVADA, CO

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION

DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
OVERALL  
GRADING PLAN



GENERAL NOTES

1.
- ANY PROPOSED FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY AND SUBJECT TO SEPARATE REVIEWS AND PERMITS.
2.
- FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER SURFACE (CONCRETE OR ASPHALT) AND SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 POUNDS.
3.
- THE APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE AFD. THE FIRE APPARATUS ACCESS ROADS SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE AND SHALL BE PROVIDED PRIOR TO COMMENCING VERTICAL CONSTRUCTION. ALTERNATIVE TEMPORARY FIRE APPARATUS ACCESS ROAD MATERIALS AND/OR DESIGNS SHALL BE APPROVED AND PERMITTED BY THE AFD. THE PRIVATE ROADS THROUGH THE SITE SHALL BE DEDICATED ON THE FINAL PLAT AS "FIRE APPARATUS ACCESS ROADS" OR OTHER SIMILAR LANGUAGE AS REQUIRED BY THE CITY OF ARVADA.
4.
- A 3'- 0" CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND NOT OBSTRUCTED.
5.
- FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE FLOW PRIOR TO COMMENCING VERTICAL CONSTRUCTION.
6.
- DURING CONSTRUCTION AND UPON COMPLETION THERE SHALL BE BUILDING SIGNAGE PROVIDED, A MINIMUM OF 0'- 4" INCHES HIGH WITH A 0.5" STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING THAT BUILDING.

PLANTING NOTES

1.
- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR SPECIMEN GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. ALL PLANT MATERIAL SHALL HAVE ALL NON-BIODEGRADABLE STRING AND WIRE REMOVED FROM TRUNK AND ROOT BALL PRIOR TO PLANTING.
2.
- ALL TREES AND SHRUBS SHALL BE INSTALLED USING ONLY THE BEST INSTALLATION PRACTICES. EACH HOLE SHALL BE DUG TO A MINIMUM OF 2 TIMES LARGER THAN THE ROOTBALL. ALL 2" CAL. AND UP DECIDUOUS TREES AND 6' HT. AND UP EVERGREENS SHALL BE PROPERLY STAKED FOR A PERIOD OF 1 YEAR. NO SHRUB SHOULD BE PLANTED WITHIN FIVE FEET (5') RADIUS OF TREE WITHIN TEN FEET (1 0? OF WATER METERS, FIRE DEPARTMENT CONNECTIONS, SANITARY SEWER MANHOLES, OR STORMWATER, WATER AND SANITARY SEWER LINES.
3.
- LOCATIONS OF ALL UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO PLANTING. TREE PLANTING SHALL BE COORDINATED WITH THE APPLICABLE SERVICE COMPANY.
4.
- GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS AND DEPRESSIONS.
5.
- PRIOR TO INSTALLATION OF MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED; ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED AT THE RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQUARE FEET OF LANDSCAPE AREA.
6.
- CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
7.
- FIELD STAKE ALL TREE LOCATIONS BASED UPON THE PLANS. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE FOR STAKED LOCATIONS PRIOR TO PLANTING.
8.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL INCLUDING SOD/SEED AREAS IN A HEALTHY STATE DURING CONSTRUCTION AND UNTIL FINAL ACCEPTANCE. ANY DAMAGE OR DEATH OF PLANT MATERIAL TO BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
9.
- CONTRACTOR SHALL INSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH PLANS PREPARED BY OTHERS SO THAT PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS DESIGNATED ON THIS PLAN.

LANDSCAPE AREAS REQUIREMENT TABLE

LANDSCAPE AREA	LINEAR FEET	TREES REQUIRED (3 TREES / 100 LF)	TREES PROVIDED	EXISTING TREES	SHRUBS REQUIRED (15 SHRUBS / 100 LF)	SHRUBS PROVIDED
SOUTH BUFFER	952 LF	29	27	4	143	148
WEST BUFFER	227 LF	7	3	4	35	38
NORTH BUFFER	840 LF	25	0	61	126	

GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M., COUNTY OF JEFFERSON, STATE OF COLORADO

LANDSCAPE NOTES

1.
- SITE SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
2.
- LANDSCAPE MAINTENANCE
- 2.1.
- ALL PLANTS SHALL BE MAINTAINED CONTINUALLY IN A HEALTHY CONDITION IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL HORTICULTURAL STANDARDS AND PRACTICES. PLANTS THAT DIE OR ARE UNHEALTHY SHALL BE REPLACED ACCORDING TO THE APPROVED LANDSCAPE PLAN.
- 2.2.
- REGULAR PRUNING AND TRIMMING SHALL BE PERFORMED TO MAINTAIN HEALTH AND AN ATTRACTIVE APPEARANCE AND TO PERMIT THE PLANTS TO ACHIEVE THEIR INTENDED FORM AND HEIGHT.
- 2.3.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF WEEDS, LITTER AND TRASH AND ALL IRRIGATION SYSTEMS SHALL BE PROPERLY MAINTAINED.
3.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUT-OFF INSTALLED.
4.
- LANDSCAPING THAT LIES WITHIN SITE TRIANGLES SHALL NOT GROW TO BE OVER 2'-6" IN HEIGHT.
5.
- TREES AND LANDSCAPING WITHIN DEVELOPMENTS, WHEN FULLY MATURE, SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13'- 6" AND PROVIDE THE MINIMUM UNOBSTRUCTED FIRE APPARATUS ACCESS ROAD WIDTH AS REQUIRED BASED ON THE HEIGHT OF THE BUILDING.

PLANT SCHEDULE

QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	WATER USE
DECIDUOUS TREES					
	CEL	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2" CAL. B&B	LOW
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS IMPERIAL	2" CAL. B&B	LOW
	QUR	ENGLISH OAK	QUERCUS ROBUR	2" CAL. B&B	LOW
	SWO	SWAMP WHILE OAK	QUERCUS BICOLOR	2" CAL. B&B	LOW
ORNAMENTAL TREES					
	CCP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	2" CAL. B&B	MODERATE
	DOW	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	2" CAL. B&B	LOW
	GMT	TATARIAN MAPLE	ACER TATARICUM	2" CAL. B&B	LOW
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS	2" CAL. B&B	LOW
EVERGREEN TREES/LARGE SHRUBS					
	AUS	AUSTRIAN PINE	PINUS NIGRA	6'-12' HT. B&B	LOW
	BOP	BOSNIAN PINE	PINUS HELDREICHII VAR. LEUCODERMIS	6'-12' HT. B&B	LOW
	PIN	PINON PINE	PINUS EDULIS	6'-12' HT. B&B	LOW
	PON	PONDEROSA PINE	PINUS PONDEROSA	6'-12' HT. B&B	LOW
EVERGREEN/BROADLEAF EVERGREEN SHRUBS					
	BCH	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5 CONT.	LOW
	BSG	SPANISH GOLD BROOM	CYTISUS PURGAN 'SPANSH GOLD'	#5 CONT.	LOW
	BUF	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5 CONT.	LOW
	MPA	PANCHITO MANZANITA	ARCTOSTAPHYLOS 'PANCHITO'	#5 CONT.	LOW
DECIDUOUS SHRUB					
	BDW	MORMON TEA	EPHEDRA VIRIDIS	#5 CONT.	VERY LOW
	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5 CONT.	VERY LOW
	CLC	ALPINE CURRANT	RIBES ALPINUM	#5 CONT.	LOW
	FER	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	#5 CONT.	VERY LOW
	PBS	PAWNEE BUTTES SANDCHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	#5 CONT.	LOW
	RAB	RABBITBRUSH	CHRYSOHAMNUS NAUSEOSUS	#5 CONT.	VERY LOW
	RSA	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	#5 CONT.	LOW
GRASSES					
	HFG	HARDY FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	#1 CONT.	LOW
	MAG	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	#1 CONT.	LOW
	VMG	VARIEGATED MAIDEN GRASS	MISCANTHUS SINENSIS VARIEGATUS	#1 CONT.	LOW

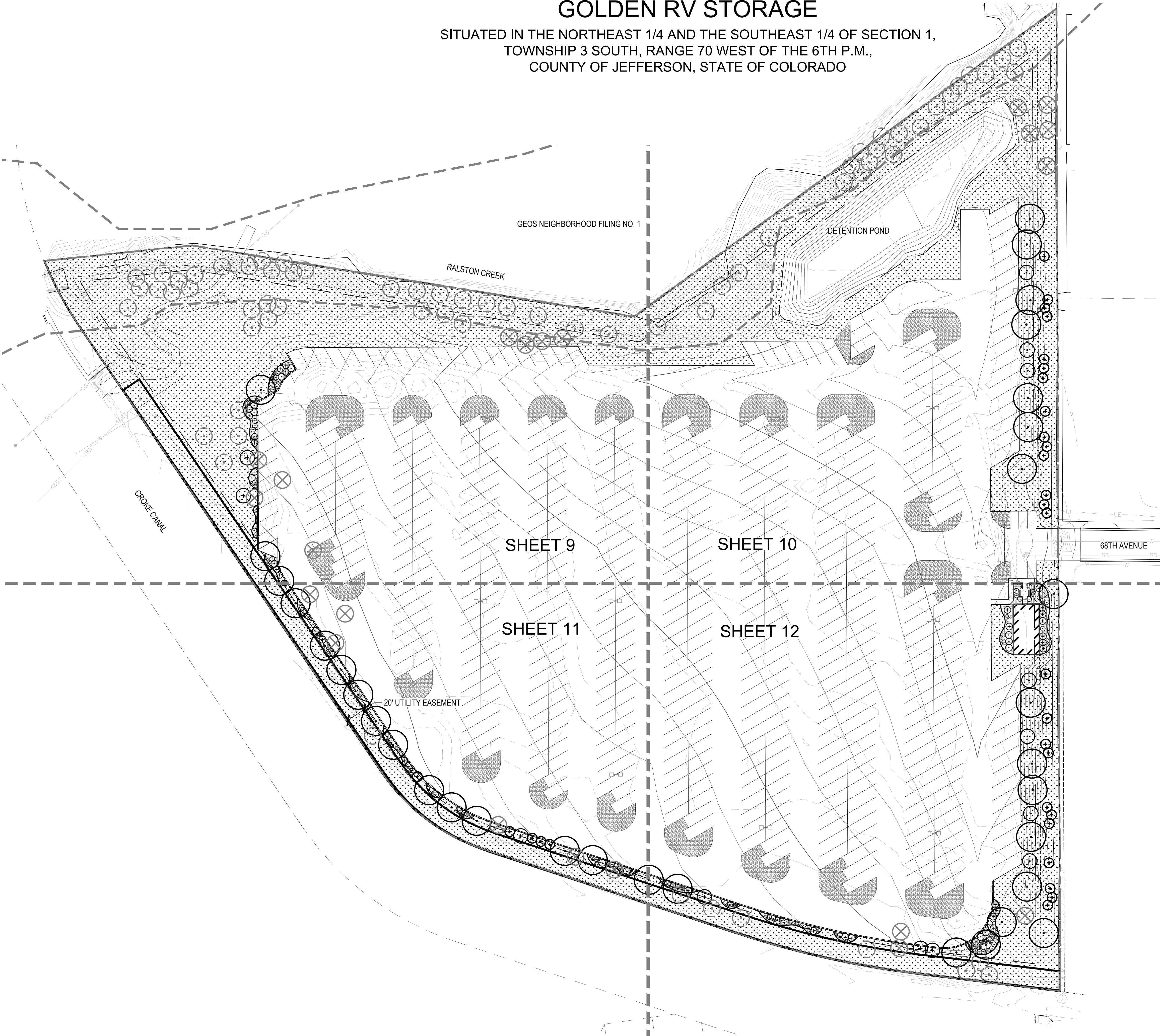
AMENITY SCHEDULE

ITEM	DESCRIPTION	MANUFACTURER	MODEL	COLOR/FINISH	NOTES
◇	BENCH	TBD	TBD	POWDERCOAT BLACK	MOUNT PER MANUFACTURER SPECIFICATIONS
◇	FENCE	AMERISTAR	IMPASSE II w/ PRIVACY SLATS	POWDERCOAT BLACK	MOUNT PER MANUFACTURER SPECIFICATIONS



# GOLDEN RV STORAGE

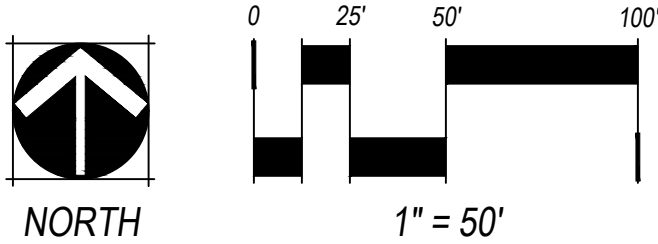
SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO



## LEGEND:

- CANOPY TREES
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- ORNAMENTAL TREES
- EVERGREEN TREES
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- ORNAMENTAL GRASSES
- LANDSCAPE BED (LOW HYDROZONE)
- NATIVE SEED (VERY LOW HYDROZONE)
- COBBLE
- PROPERTY LINE
- FENCE-RE-AMENITY SCHEDULE ON SHEET 5

NOTES:  
1. ALL PROPOSED PLANTS SHALL BE LOW OR VERY LOW WATER USE.

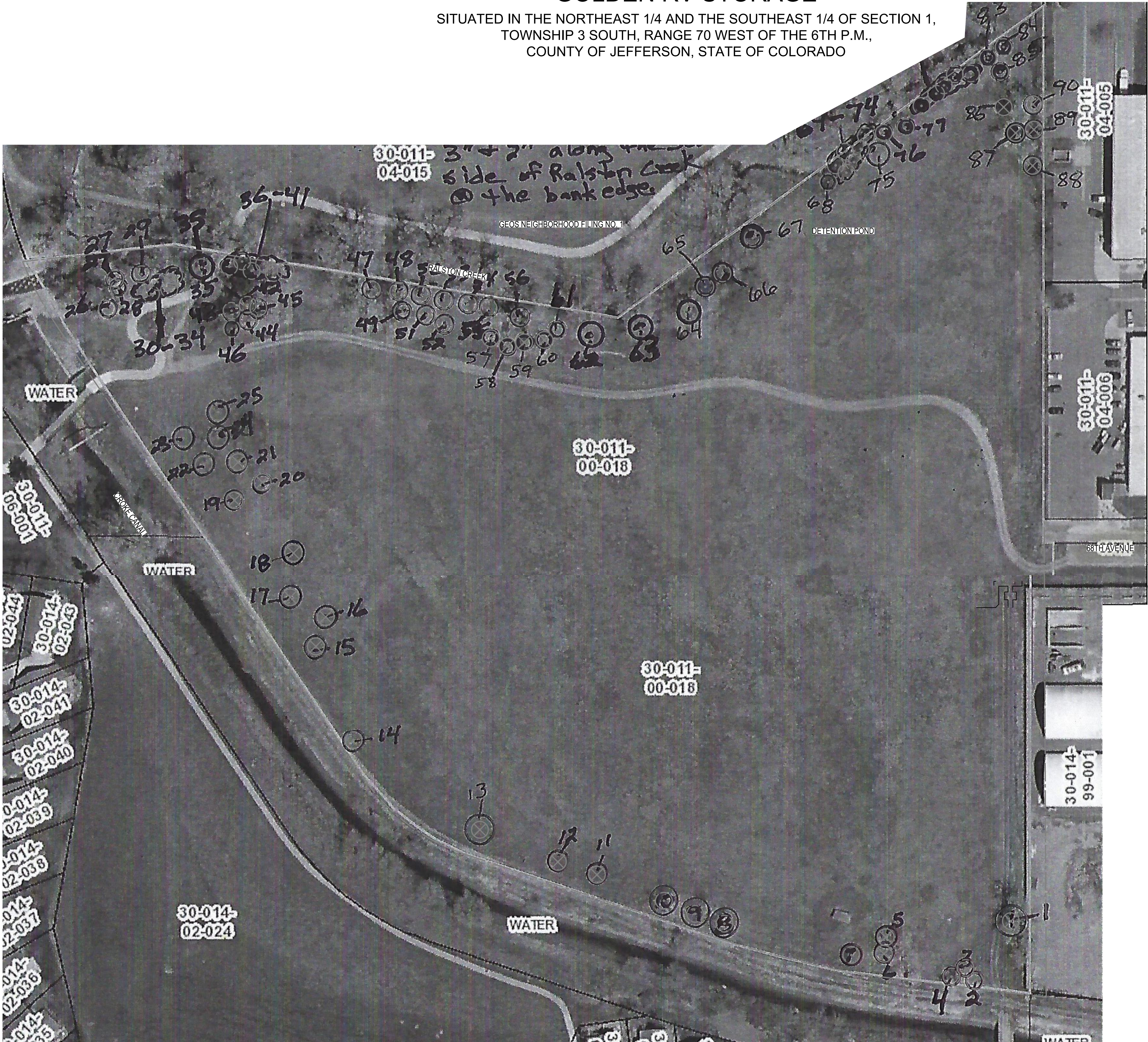


\*NOT FOR CONSTRUCTION



GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO



LEGEND

- ⊗ EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

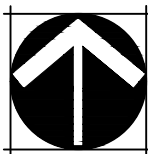
TREE MITIGATION TABLE

TREES TO BE REMOVED	22
TREES TO BE PRESERVED	115

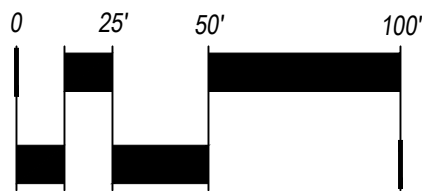
NOTE: TREE SURVEY PROVIDED BY SCOTT GRIMES, COLORADO TREE CONSULTANTS - 303.720.8170

THE FOLLOWING TREE PROTECTION SPECIFICATIONS SHOULD BE FOLLOWED TO THE MAXIMUM EXTENT FEASIBLE FOR ALL PROJECTS WITH PROTECTED EXISTING TREES:

- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX FEET FROM THE TRUNK OR ONE FOOT FOR EVERY INCH OF DIAMETER WHICHEVER IS GREATER ( FOR EXAMPLE, A TEN-INCH DIAMETER TREE WILL HAVE A FENCE NO CLOSER THAN TEN FEET FROM THE TRUNK). THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE UNLESS PREVIOUSLY APPROVED BY THE DIRECTOR.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE FENCED TREE PROTECTION ZONE.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE. THIS MAY BE ACCOMPLISHED BY PLACING METAL TPOST STAKES A MAXIMUM OF 50 FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE WITHIN THE FENCE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF 24 INCHES.



NORTH



1" = 50'



\*NOT FOR CONSTRUCTION

GOLDEN RV STORAGE  
SITE PLAN  
CITY OF ARVADA, CO

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION

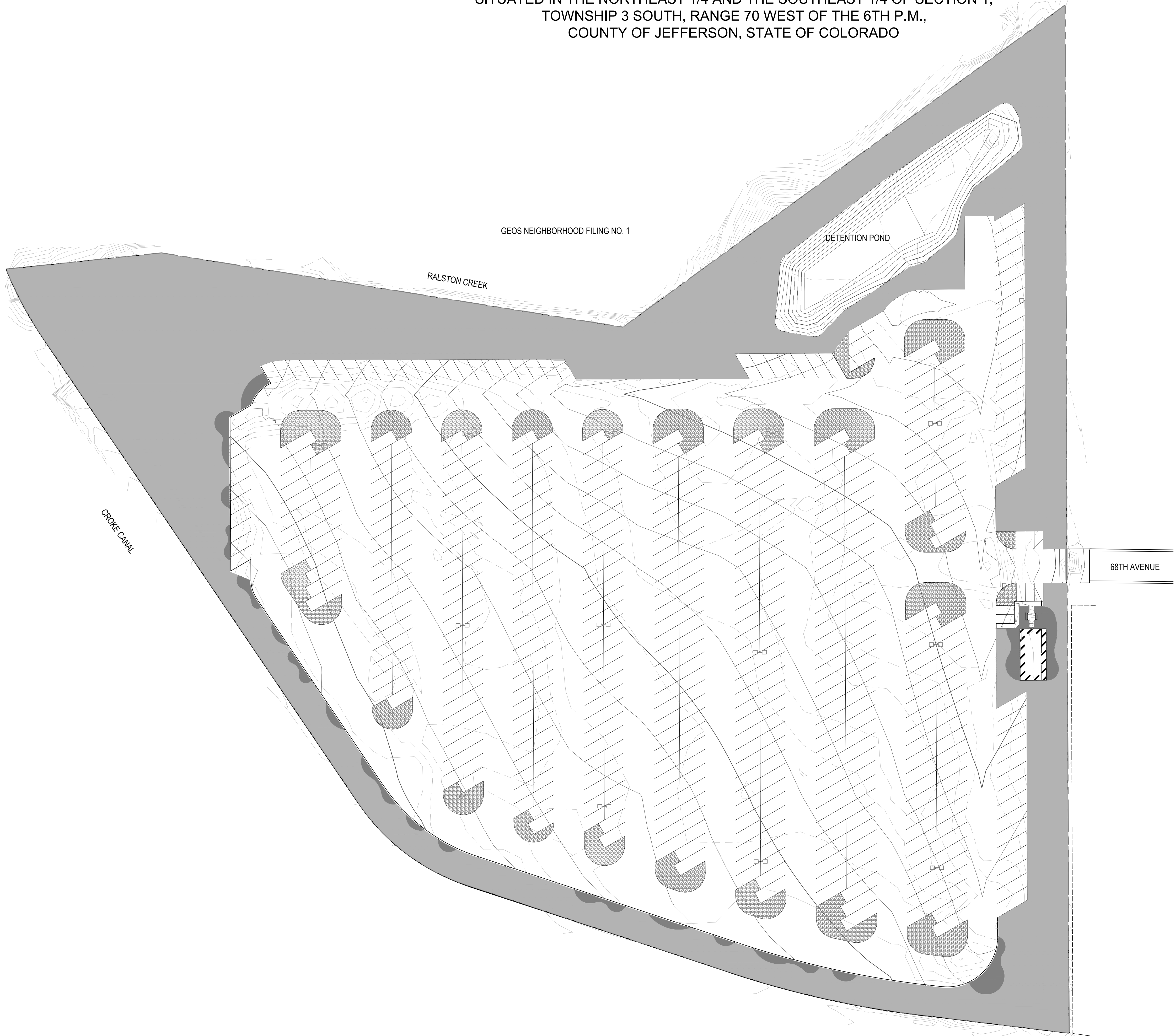
DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
TREE MITIGATION  
PLAN



# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO



## LEGEND

- D VERY LOW (0"-7" PER YEAR)
- D LOW (7"-15" PER YEAR)
- ROCK COBBLE (NON-IRRIGATED)

GOLDEN RV STORAGE  
SITE PLAN  
CITY OF ARVADA, CO

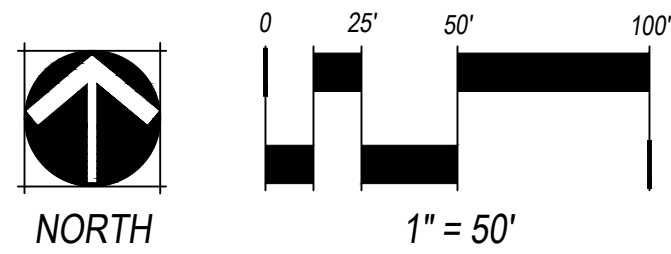
OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION

DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
HYDROZONE  
MAP

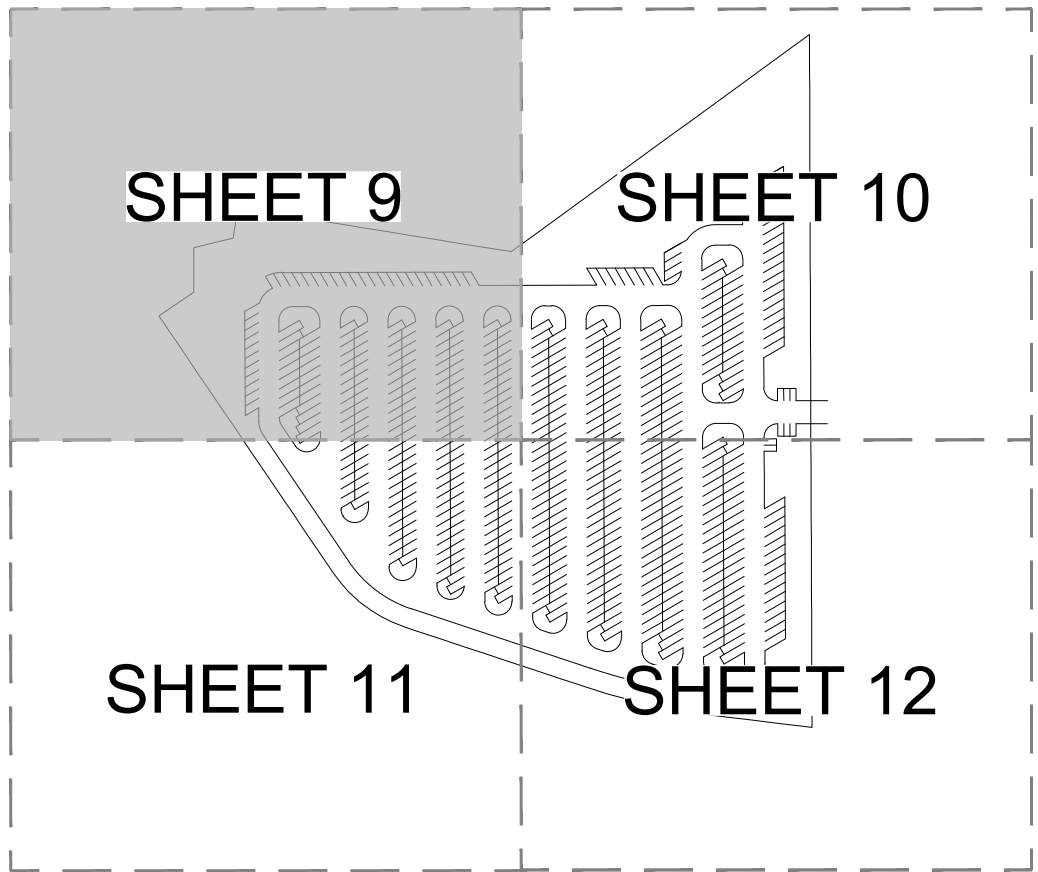
\*NOT FOR CONSTRUCTION



# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

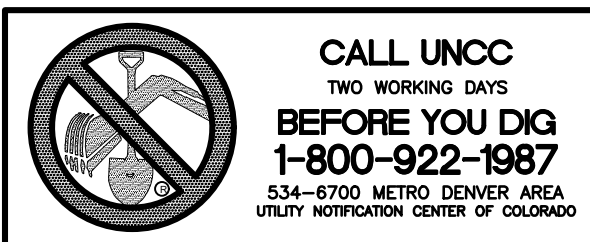
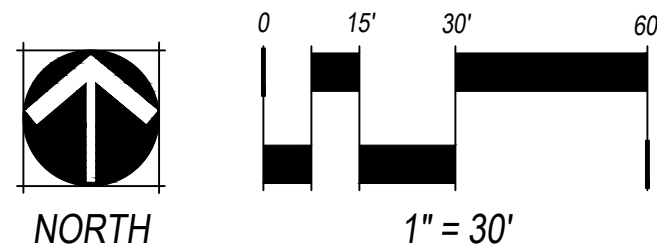
## KEY MAP



## LEGEND:

- CANOPY TREES
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- ORNAMENTAL TREES
- EVERGREEN TREES
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- ORNAMENTAL GRASSES
- LANDSCAPE BED (LOW HYDROZONE)
- NATIVE SEED (VERY LOW HYDROZONE)
- COBBLE
- PROPERTY LINE
- FENCE, RE: AMENITY SCHEDULE ON SHEET 5

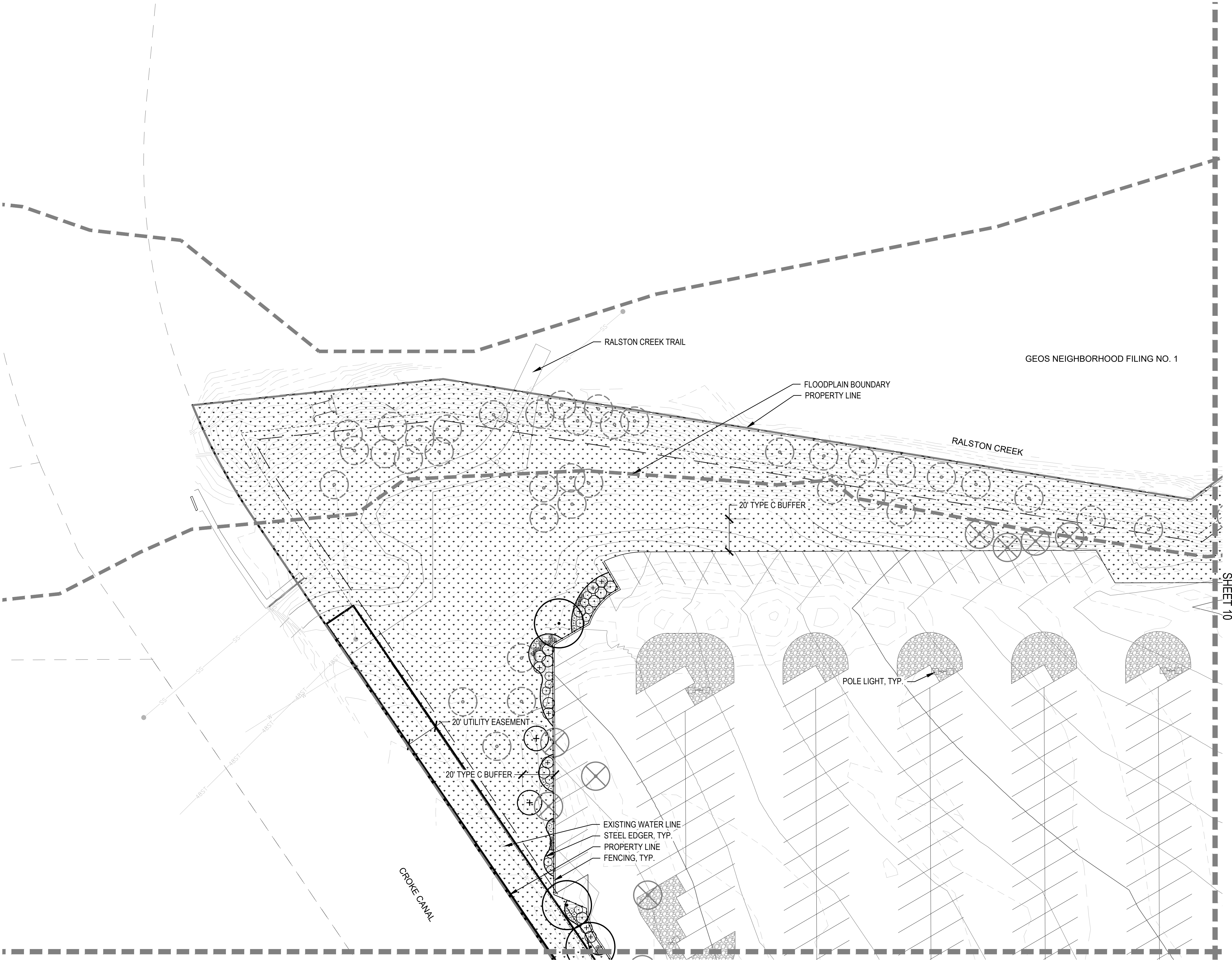
NOTES:  
1. ALL PROPOSED PLANTS SHALL BE LOW OR VERY LOW WATER USE.



\*NOT FOR CONSTRUCTION

SHEET 11

SHEET 10

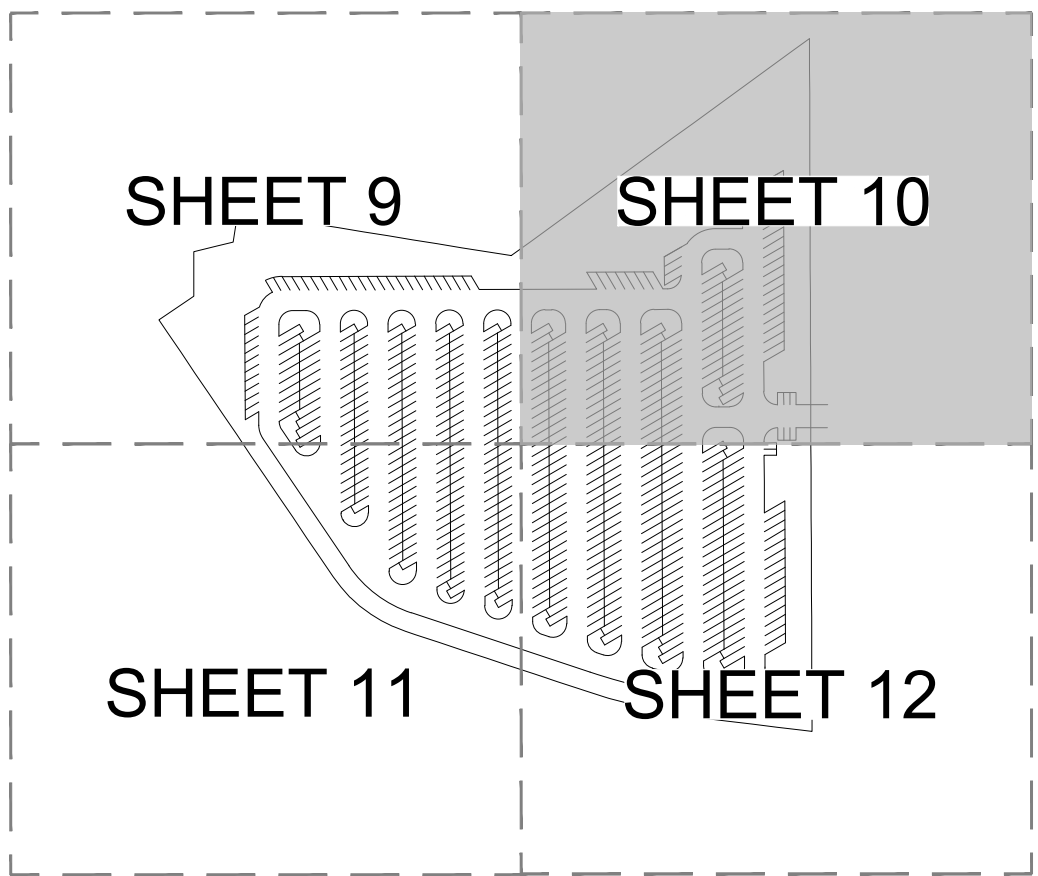




# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

## KEY MAP

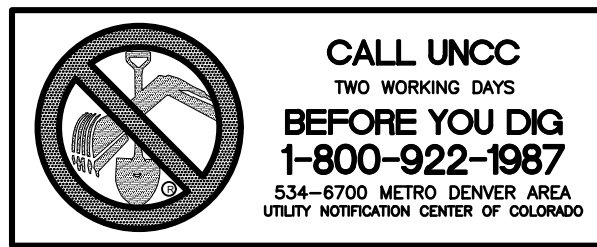
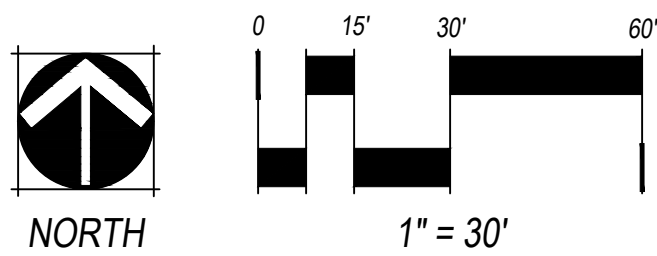


## LEGEND:

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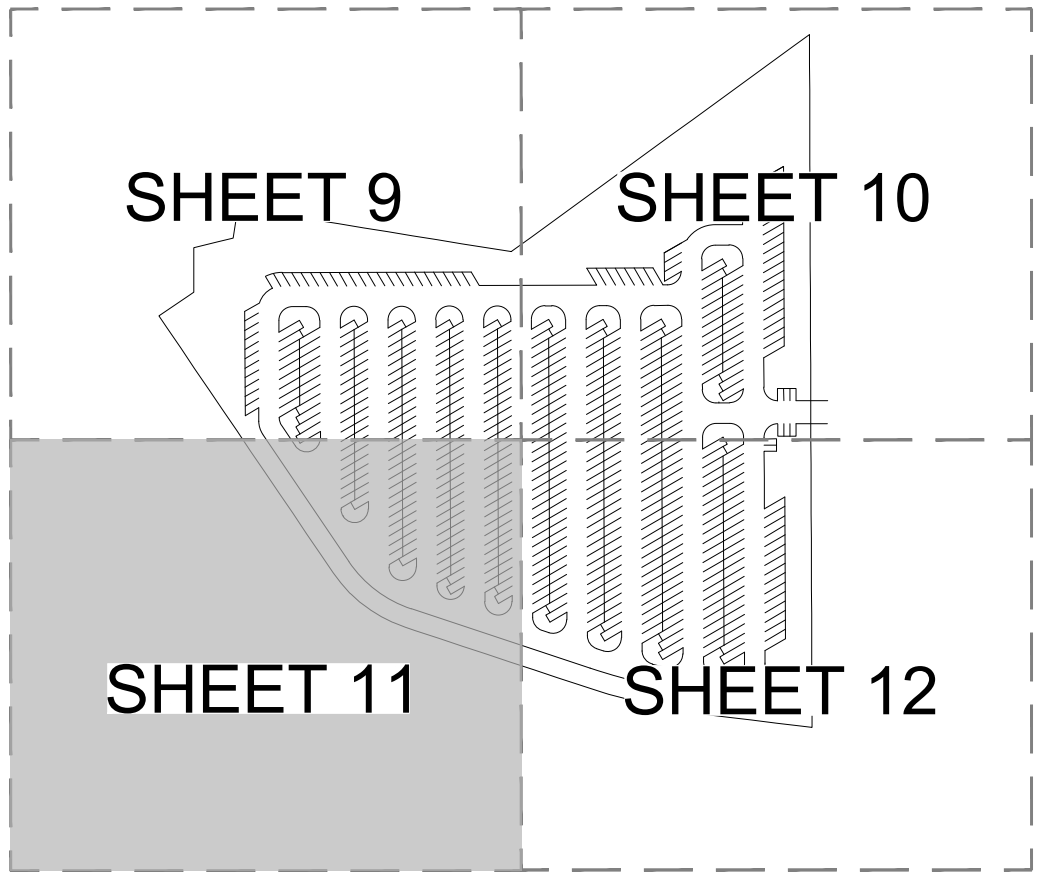
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# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

## KEY MAP

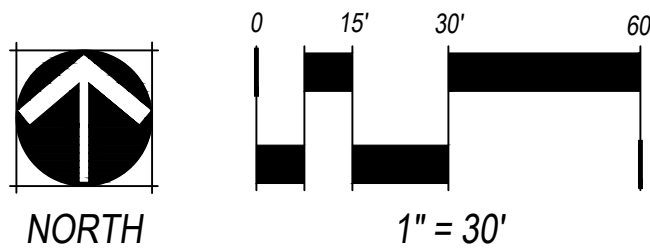


## LEGEND:

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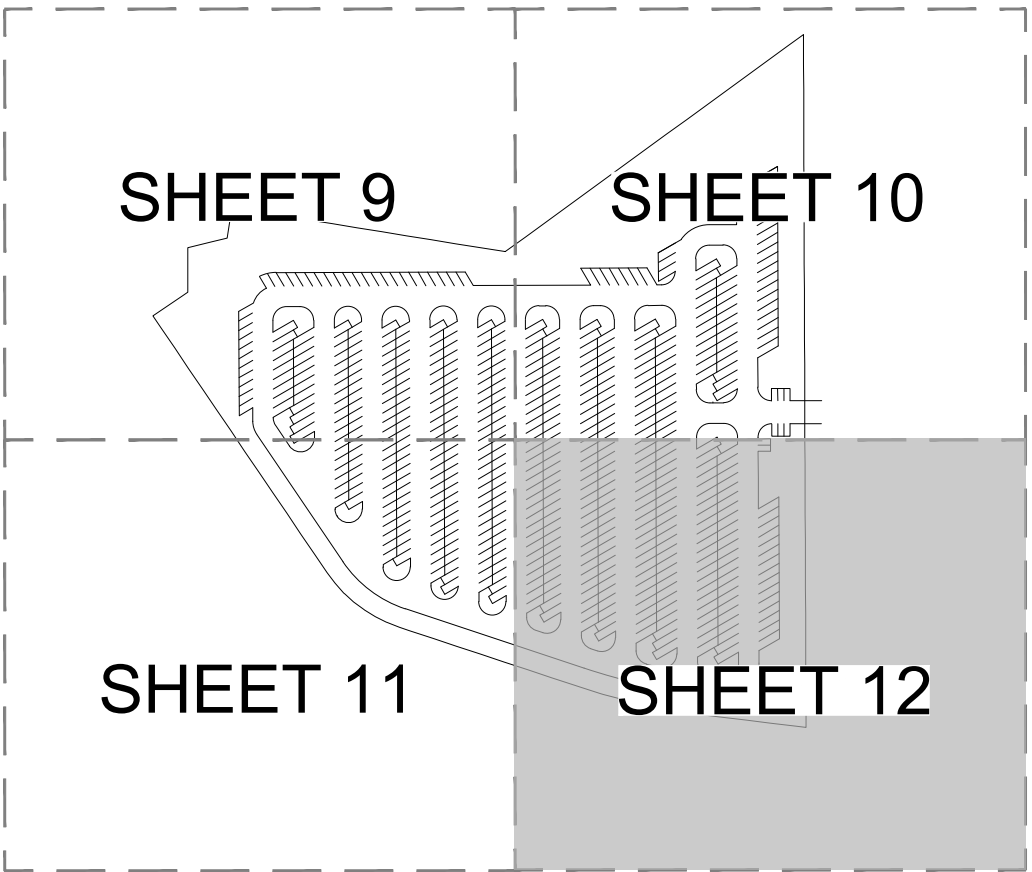
\*NOT FOR CONSTRUCTION



# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

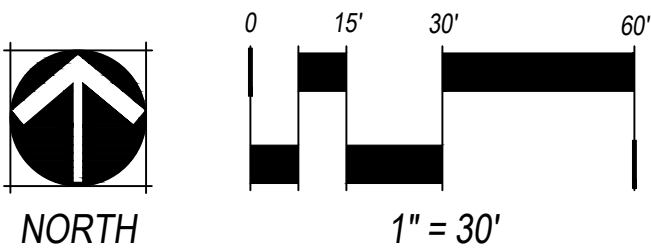
## KEY MAP



## LEGEND:

- CANOPY TREES
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NOTES:  
1. ALL PROPOSED PLANTS SHALL BE LOW OR VERY LOW WATER USE.



\*NOT FOR CONSTRUCTION

GOLDEN RV STORAGE  
SITE PLAN  
CITY OF ARVADA, CO

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

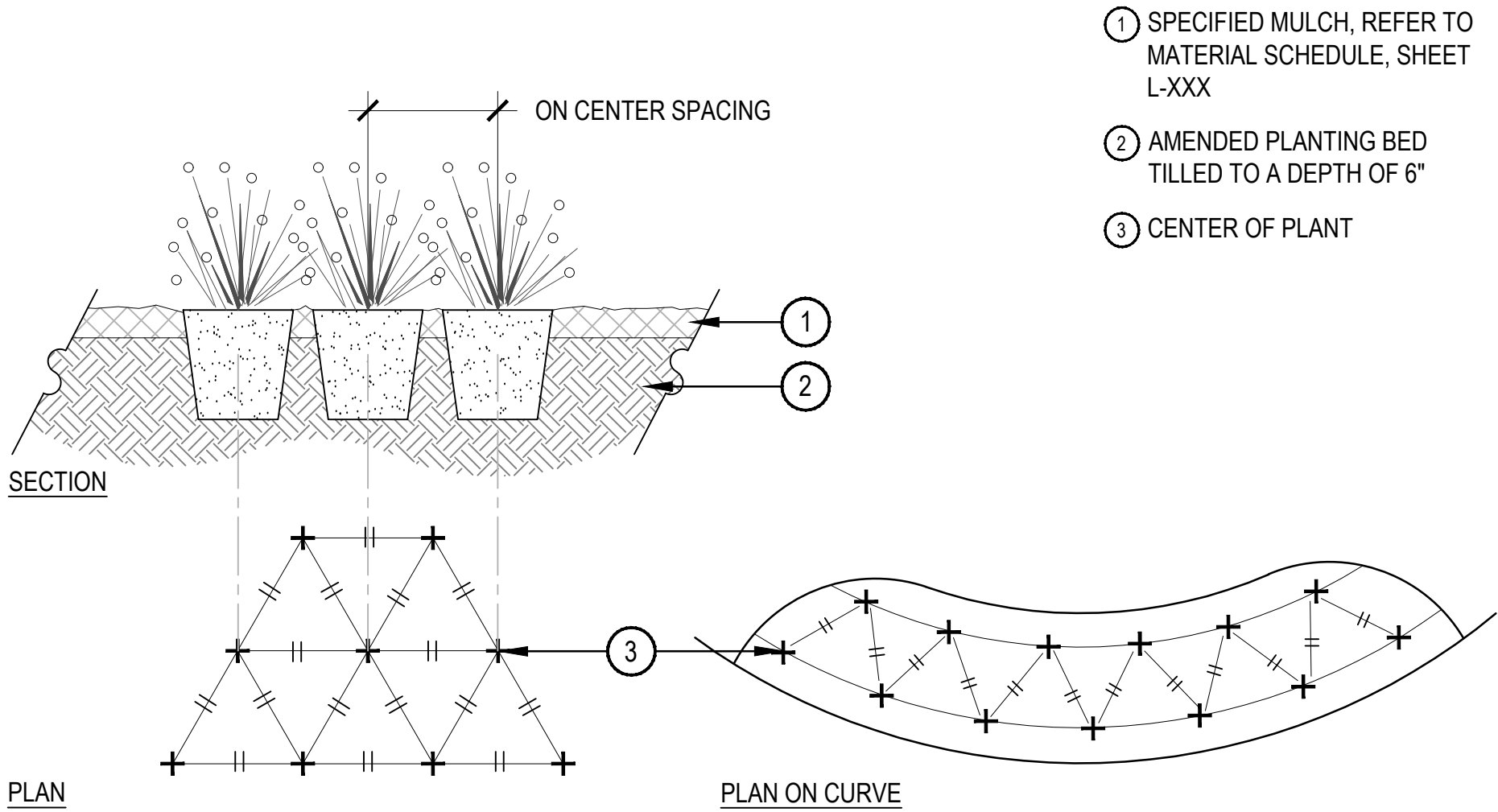
NOT FOR  
CONSTRUCTION

DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
LANDSCAPE  
PLAN

# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

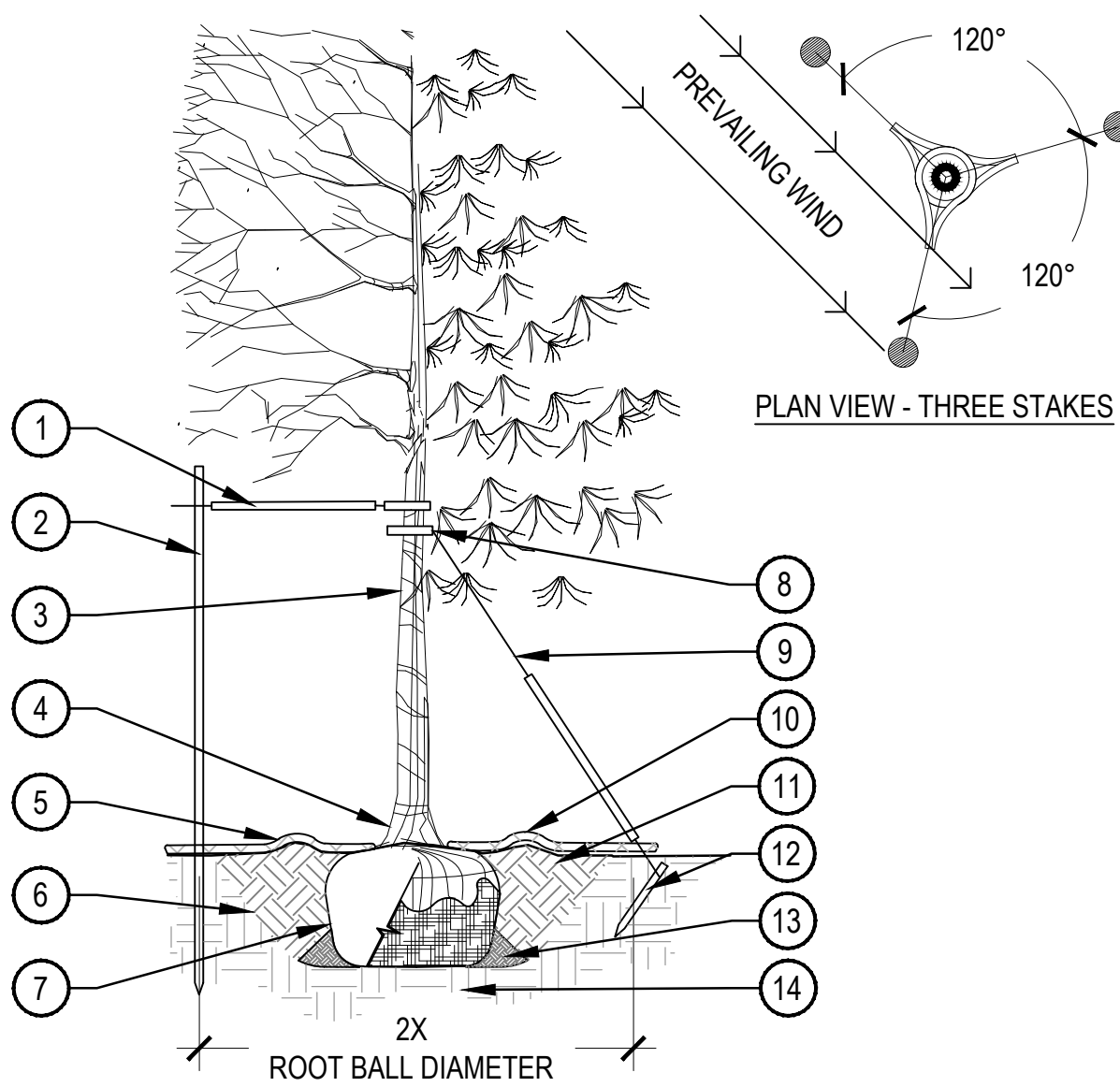


- NOTES:
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

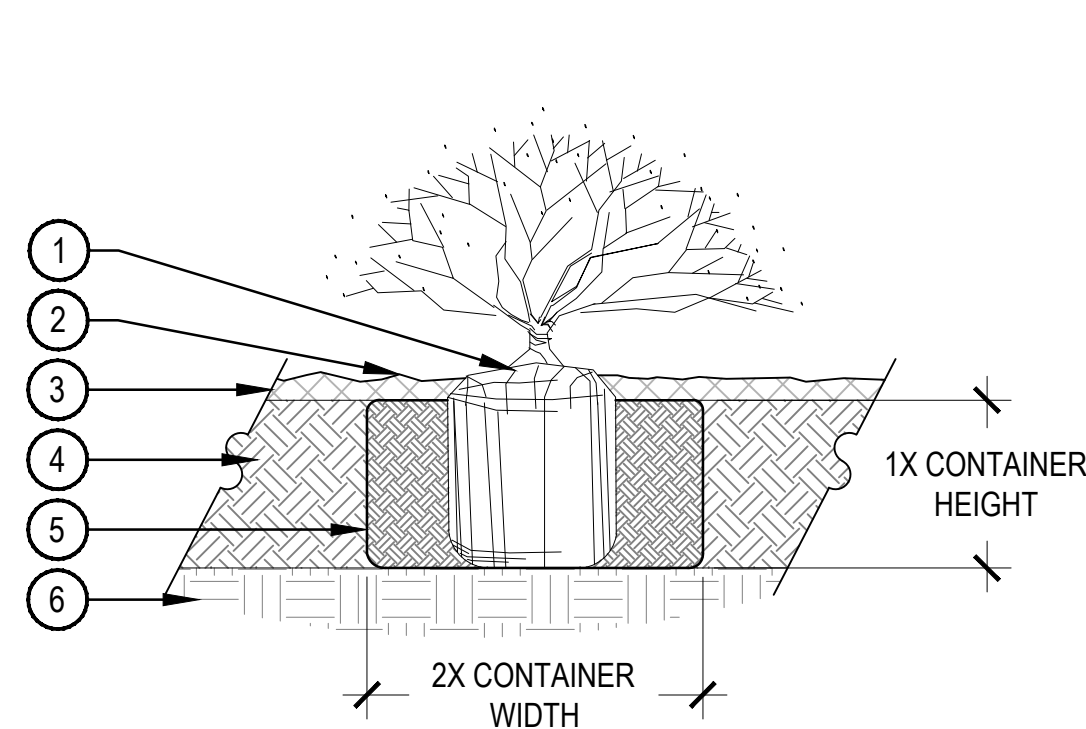
## 1 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

- PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
  2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
    - a. 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
    - b. 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
    - c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
  2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.



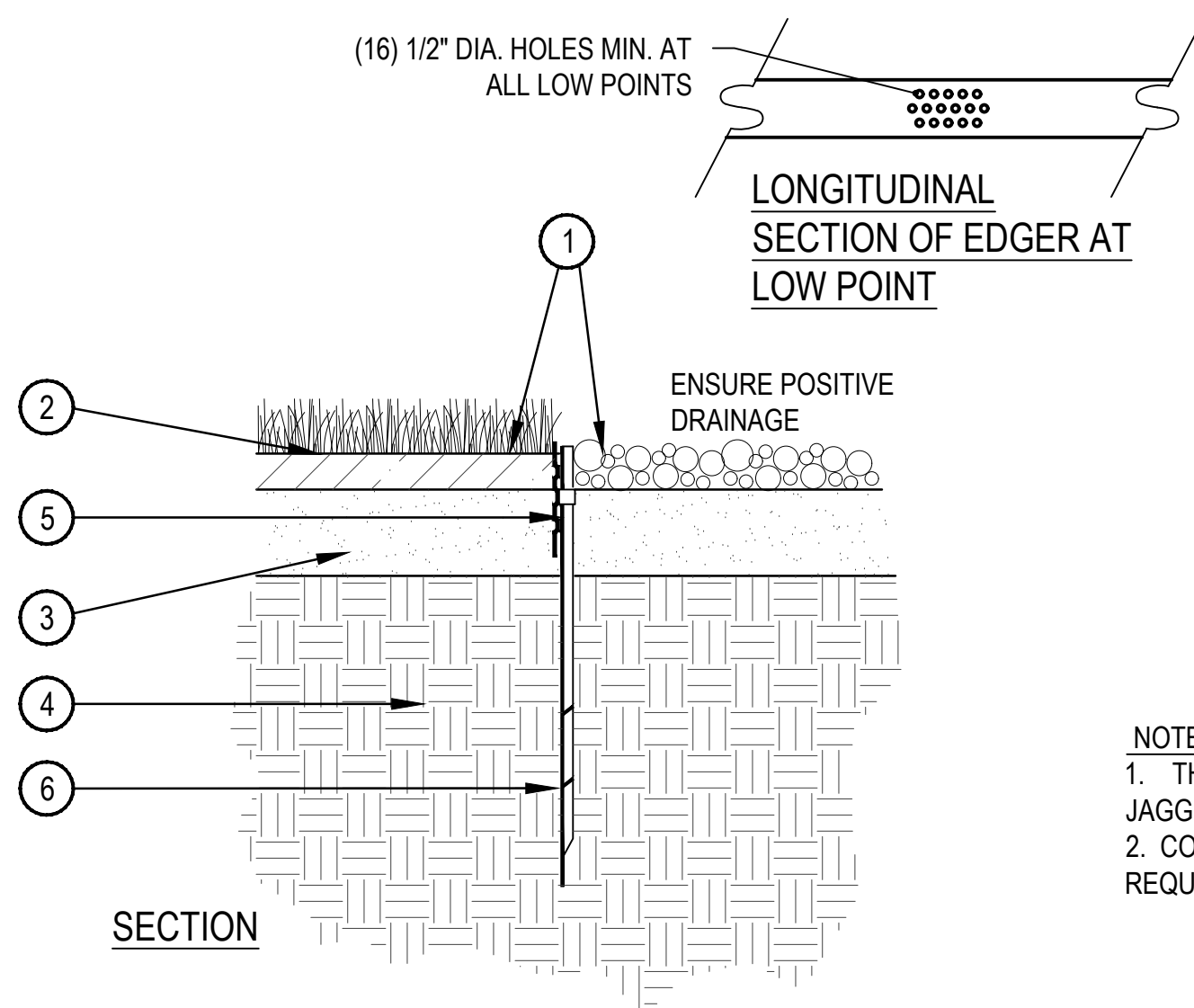
1. PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
2. 6'-0" UNTREATED WOOD POST, MINIMUM 1.5" DIAMETER, ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
3. TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30, DECIDUOUS ONLY, WRAP FROM BASE OF TRUNK TO BOTTOM LIMB
4. PLANT TREE SO THAT TOP MOST MAJOR ROOT IS 1"-2" ABOVE FINISHED GRADE
5. 2'-0" RADIUS MULCH RING, VENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
6. 1:1 SLOPE ON SIDES OF PLANTING HOLE
7. ROPES AT TOP OF ROOTBALL SHALL BE CUT, REMOVE TOP 1/3 OF BURLAP, NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
8. GROMMETED NYLON STRAPS
9. GALVANIZED WIRE, MINIMUM 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
10. 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
11. BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
12. 2'-0" STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
13. PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
14. PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT



- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
  2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
  3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
  4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
  5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

## 3 SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"



1. FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
2. TURF THATCH
3. AMENDED SOIL PER SPECIFICATIONS
4. SUBGRADE
5. ROLLED TOP STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
6. EDGER STAKE

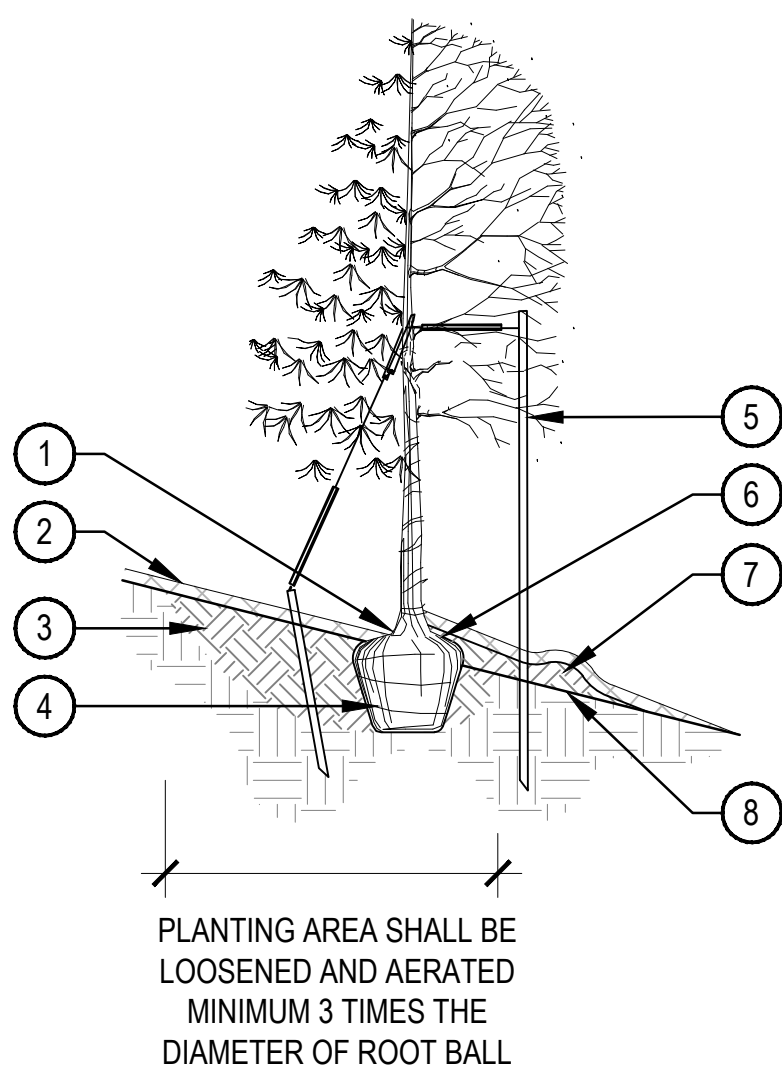
- NOTES:
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
  2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

## 5 STEEL EDGER DETAIL

SCALE: 1" = 1'-0"

## 2 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



1. TOP MOST ROOT IN ROOTBALL: ABOVE EXISTING GRADE, UPHILL SIDE
2. 2-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK
3. BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
4. ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
5. REFER TO TYPICAL TREE PLANTING DETAIL, DETAIL X SHEET L-XXX, FOR STAKING AND GUYING
6. ROPES AT TOP OF BALL SHALL BE CUT, REMOVE TOP 1/3 OF BURLAP, NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
7. BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
8. EXISTING GRADE

PLANTING AREA SHALL BE LOOSENEED AND AERATED MINIMUM 3 TIMES THE DIAMETER OF ROOT BALL

- NOTES:
1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS THAN THE DISTANCE FROM THE TOP MOST ROOT AND THE BOTTOM OF THE ROOT BALL. SCORE SIDES OF PLANTING HOLE BUT DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOTBALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE SOIL MIXED WITH MAXIMUM 20% ORGANIC MATERIAL.
  2. TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED.
  3. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.
  4. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS.
  5. PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING.

## 4 TREE PLANTING ON SLOPE

SCALE: 1/4" = 1'-0"



Hauser Architects, P.C. 12/2/2021 3:16:33 PM

# GOLDEN RV STORAGE

SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

Keynote Legend	
Key Value	Keynote Text
4.1	STONE VENEER, COLOR: TANS AND BROWNS
4.2	PRE-CAST CONCRETE CAP, COLOR: DARK BROWN
5.2	MAPES SUPER LUMIDECK, PRE-FINISHED, COLOR: TO MATCH STOREFRONT
5.5	MBCI ARCHITECTUTAL NUWALL VERTICAL METAL PANEL, COLOR: BURNISHED SLATE
7.1	PRE-FINISHED METAL FASCIA, COLOR: LIGHT STONE
7.2	PRE-FINISHED METAL GUTTER, COLOR: LIGHT STONE
7.8	STANDING SEAM METAL ROOF, COLOR: GALVALUME
8.1	HOLLOW METAL DOOR AND FRAME, COLOR: LIGHT STONE
8.3	ALUM-FRAMED ENTRANCE / STOREFRONT, CLEAR ANODIZED FINISH
8.4	VINYL WINDOW W/ LOW E INSUL. GLAZING
10.12	BUILDING SIGNAGE BY OTHERS - DEFERRED SUBMITTAL

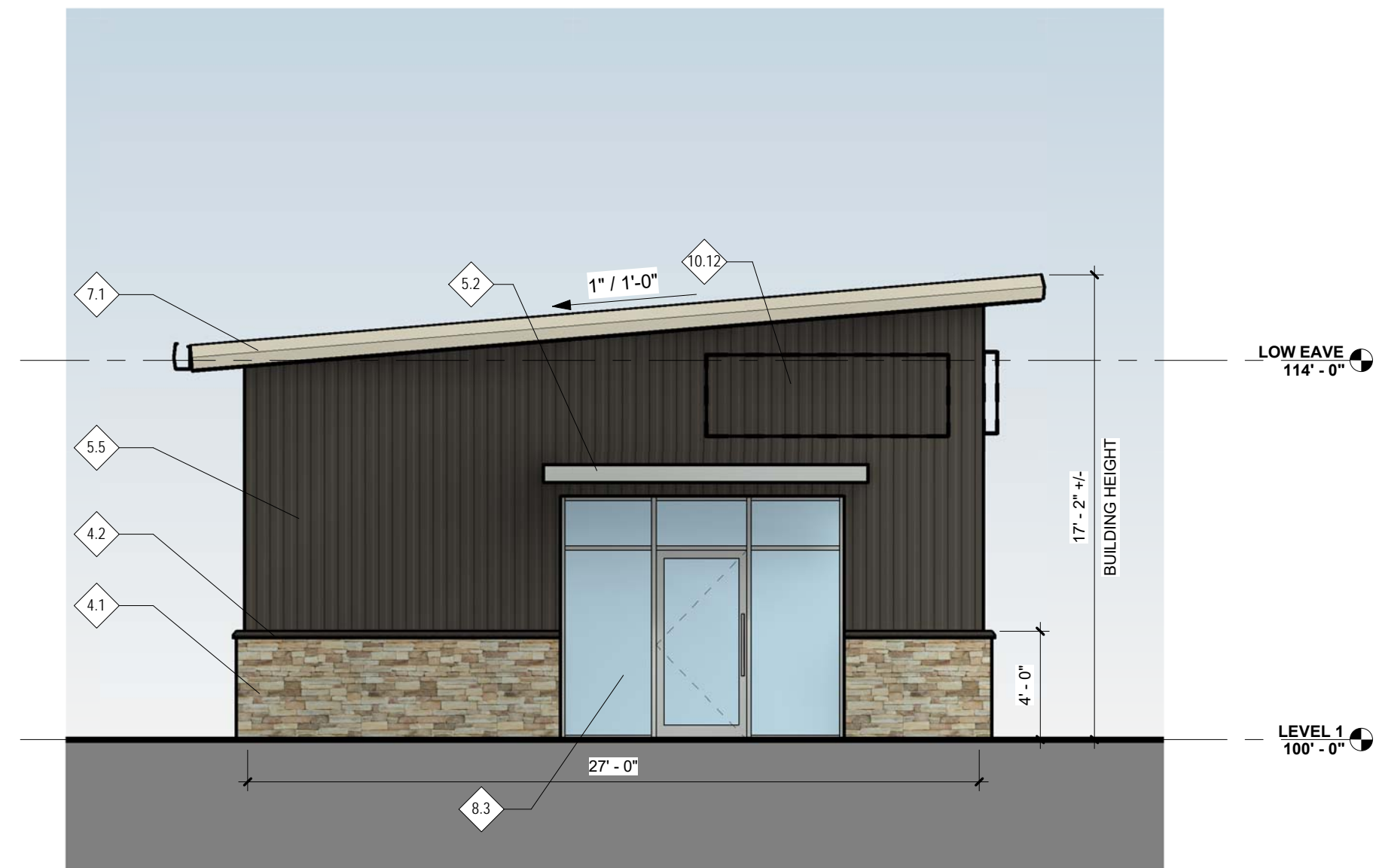
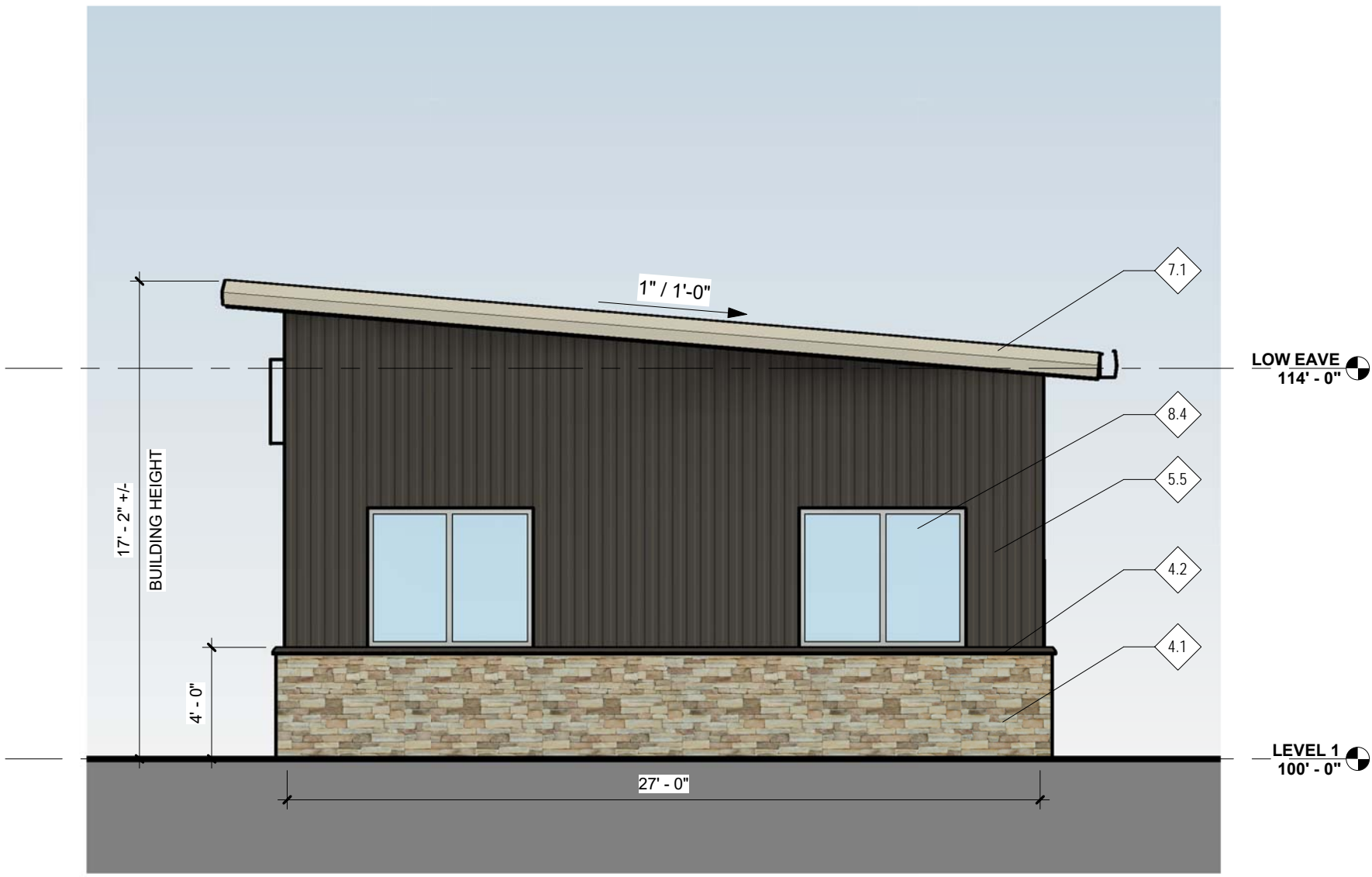


HAUSER  
ARCHITECTS



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GOLDEN RV STORAGE  
SITE PLAN  
CITY OF ARVADA, CO

OWNER:  
CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION

DATE:  
12/03/21 - 1ST SUB

SHEET TITLE:  
ARCHITECTURAL  
ELEVATIONS



SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO



# GOLDEN RV STORAGE

**SITE PLAN**  
CITY OF ARVADA, CO

CHELTON LLC  
PO BOX 460010  
FORT LAUDERDALE, FL 33346

NOT FOR  
CONSTRUCTION


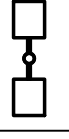

12/03/21 - 1ST SUB

## SITE LIGHTING PHOTOMETRIC

CHECKED BY: BR  
DRAWN BY: GH, JK



GOLDEN RV STORAGE  
SITUATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF SECTION 1,  
TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
COUNTY OF JEFFERSON, STATE OF COLORADO

LUMINAIRE SCHEDULE											
Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	Lumens	Shielding	Keyed Notes
	SP1	SITE POLE PARKING & DRIVES	35'-0" AFG	BLACK	MCGRRAW-EDISON GLEON-SA6-C-730-U-T3-BK-AHDXXX	LED	1.00	333W	42,313	FULL CUT-OFF	1
	SP2	SITE POLE PARKING & DRIVES	35'-0" AFG	BLACK	MCGRRAW-EDISON GLEON-SA6-C-730-U-T3-BK-AHDXXX-MA-1039	LED	1.00	(2)333W	(2)42,313	FULL CUT-OFF	1
	WP	WALL PACK STORAGE OFFICE	8'-0" AFG	BLACK	LUMARK XTOR1B-Y-BK	LED	1.00	12W	1418	FULL CUT-OFF	1
KEYED NOTES 1. CITY OF ARVADA REQUIRES THAT ONE HOUR AFTER THE CLOSE OF BUSINESS, ALL ILLUMINATION SHALL BE REDUCED BY AT LEAST 70 PERCENT, AND REMAIN IN THAT STATE UNTIL AT LEAST ONE HOUR PRIOR TO OPEN OF BUSINESS. THIS REDUCTION IN ILLUMINATION MAY BE ACHIEVED BY DIMMING THE LAMPS WITHIN A LIGHT FIXTURE (LUMINAIRE), AND/OR EXTINGUISHING A LUMINAIRE. IF A DIMMING APPROACH IS UTILIZED, THE E.C. SHALL PROVIDE ALL NECESSARY CONTROLS TO PROVIDE A COMPLETE OPERATING SYSTEM. CURRENTLY, THE LIGHTING DESIGNER HAS SPECIFIED AN AFTER HOURS DIMMING FEATURE FOR FIXTURE TYPE SP1 AND SP2, AS NOTED IN THE CATALOG NUMBER. THE 'XXX' PORTION OF THE CATALOG NUMBER FOLLOWING 'AHD' WILL NEED TO BE COMPLETED ONCE THE TOTAL AFTER HOURS TIME LENGTH IS KNOWN.											

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

**Construction**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets ESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

**Electrical**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C (-40°F to 104°F). High ambient 50°C models available. Crosstour luminaires maintain greater than 80% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

**Finish**  
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and glass retention of the installed life. Options to meet Buy American and other domestic preference requirements.

**Warranty**  
Five-year warranty.

Lumark

Catalog #	Type
	WP
Project	Date
Comments	
Prepared by	



APPLICATIONS:  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING



**CERTIFICATION DATA**  
Dark Sky Approved (Fixed mount, Full cutoff, and 5000K CCT only)  
ULxUL, Wet Location Listed  
LM79 / LM80 Compliant  
RoHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP65 Ingress Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified\*

**TECHNICAL DATA**  
40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

**EPA**  
Effective Projected Area (Sq. Ft.):  
XTOR1B, XTOR2B, XTOR3B-0.34  
XTOR4B-0.29

**SHIPPING DATA:**  
Approximate Net Weight:  
3.7 - 5.25 lbs. (1.7 - 2.4 kgs.)



\*www.designlights.org

TD614013EN  
November 18, 2021 9:36 PM

Project	Catalog #	Type	SP1/SP2
Prepared by	Notes	Date	



McGraw-Edison  
GLEON Galleon

Area / Site Luminaire

Product Features



Product Certifications



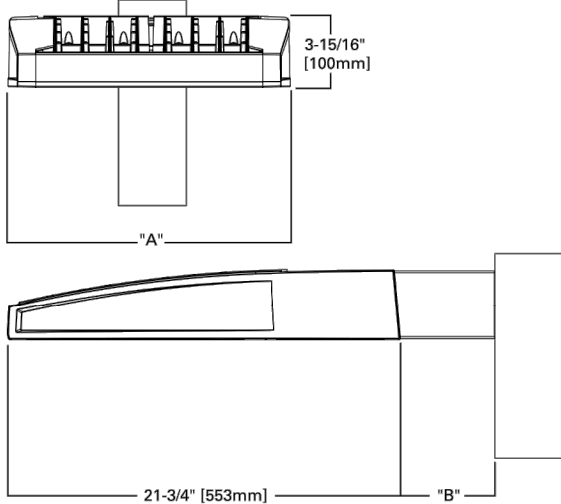
Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 9

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

Dimensional Details



NOTES:  
1. View Lines shown design details and details to confirm qualification. Not all product variations are DLC qualified.  
2. BAA certified for 3000K CCT and warmer only.



PS000020EN page 1  
October 20, 2021 5:54 AM